

B16-814793

Building Information

Building Description: A multi-tenant, industrial building with 163,085 gross square footage, steel structure with full height alum/glass storefront and tilt up panel facade.
Building Construction Type: II-B
Occupancy Group: S-1 Storage with B Business sub-classification
Fire Protection: Fully Sprinklered
Generator: No
High Rise: No, does not exceed 75 feet
Number of Stories: 1 Story
Total Building Area: 163,085SF

Florida Code Requirements
Building - Florida Building Code 5th Edition 2014
Fire Safety/Life Safety - Florida Fire Prevention Code 5th Edition 2014
Plumbing - Florida Building Code 5th Edition 2014
Mechanical - Florida Building Code 5th Edition 2014
Electrical - NFPA 70 - 2011 National Electric Code
Energy - Florida Building Code 5th Edition 2014
Accessibility - Florida Building Code 5th Edition 2014 Accessibility

Project Information

Project Summary and Scope - Expansion of existing tenant by creating two new openings in existing CMU demising wall in order to connect and expand existing tenant suite. Limited interior alteration of existing office space and warehouse support space. Mechanical and electrical alteration are part of scope. Storage is to be used for general storage for electrical equipment parts supply.

Project Usable Area - 29,762SF
Occupancy Use and Classifications: S-1, Storage with B, Business sub-classification.
Occupant Load Calculation for the Suite:
 3,738 SF / 100 SF/person = 38 persons (Business: B)
 26,024 SF / 500 SF/person = 53 persons (Storage: S-1)
 Total = 91 persons

Classification of Hazard Contents per NFPA 101 42.1.5 & 6.2.
 Contents of storage occupancies shall be classified ordinary hazard.

Plumbing Calculations - IPC Table 403.1:
 Business:
 38 persons (Business: B) = 19 Men & 19 Women
 Water Closets: (1 per 25 for the first 50, 1 per 50 persons after the first 50): 19 = 0.76
 Lavatories: (1 per 40 for the first 80, 1 per 80 persons after the first 80): 19 = 0.48
 Water Fountains: (1 per 100 persons): 38 = 0.38

Storage:
 53 persons (Storage: S-1) = 27 Men & 27 Women
 Water Closets: (1 per 100): 27 = 0.27
 Lavatories: (1 per 100): 53 = 0.53
 Water Fountains: (1 per 1000 persons): 53 = 0.05

Total Required = 2 WC (per gender), 1 Lavatory (per gender), 1 Water Fountain
 Total Provided = 3 WC (per gender), 3 Lavatory (per gender), 1 WC and Lavatory, 2 Water Fountains

Exitting Requirements for Mixed Business/Storage Occupancy:
 Min. number of Means of Egress required for Storage: 1 exits provided
 Min. number of Means of Egress required for Business: 1 exit required, 1 exit provided

Arrangement of Means of Egress: 1/3 (sprinklered)
 Max. Travel Distance for Storage: 250' (Ordinary Hazard, sprinklered)
 Max. Travel Distance for Business: 300' (sprinklered)
 Max. Common Path of Travel for Storage: 100' (Ordinary Hazard, sprinklered)
 Max. Common Path of Travel for Business: 100' (sprinklered)
 Max. Dead End Corridors for Storage: 50' (Ordinary Hazard, sprinklered)
 Max. Dead End Corridors for Business: 50' (sprinklered)
 Min. door width: 32" (36" wide doors provide 34" clearance and meet the 32" requirement)

Fire Protection Requirements:
 Tenant Demising Walls: One-Hour Fire Rated Wall
 Occupancy Separation for Office/Warehouse (Non-Separated Use) Non-rated as per FBC Section 302.1 reference to Section 508.4 for separated use, and Table 508.4 does not require a separation between Storage (S-1) and Business (B) Occupancy
 Wall Penetrations - No Rating Required
 Opening Protection - Doors - No Rating Required
 Storage Rooms in Office areas- Non-rated per FBC Table 508.4 (no separation required between Storage (S-1) and Business (B) Occupancy)

Table of Contents

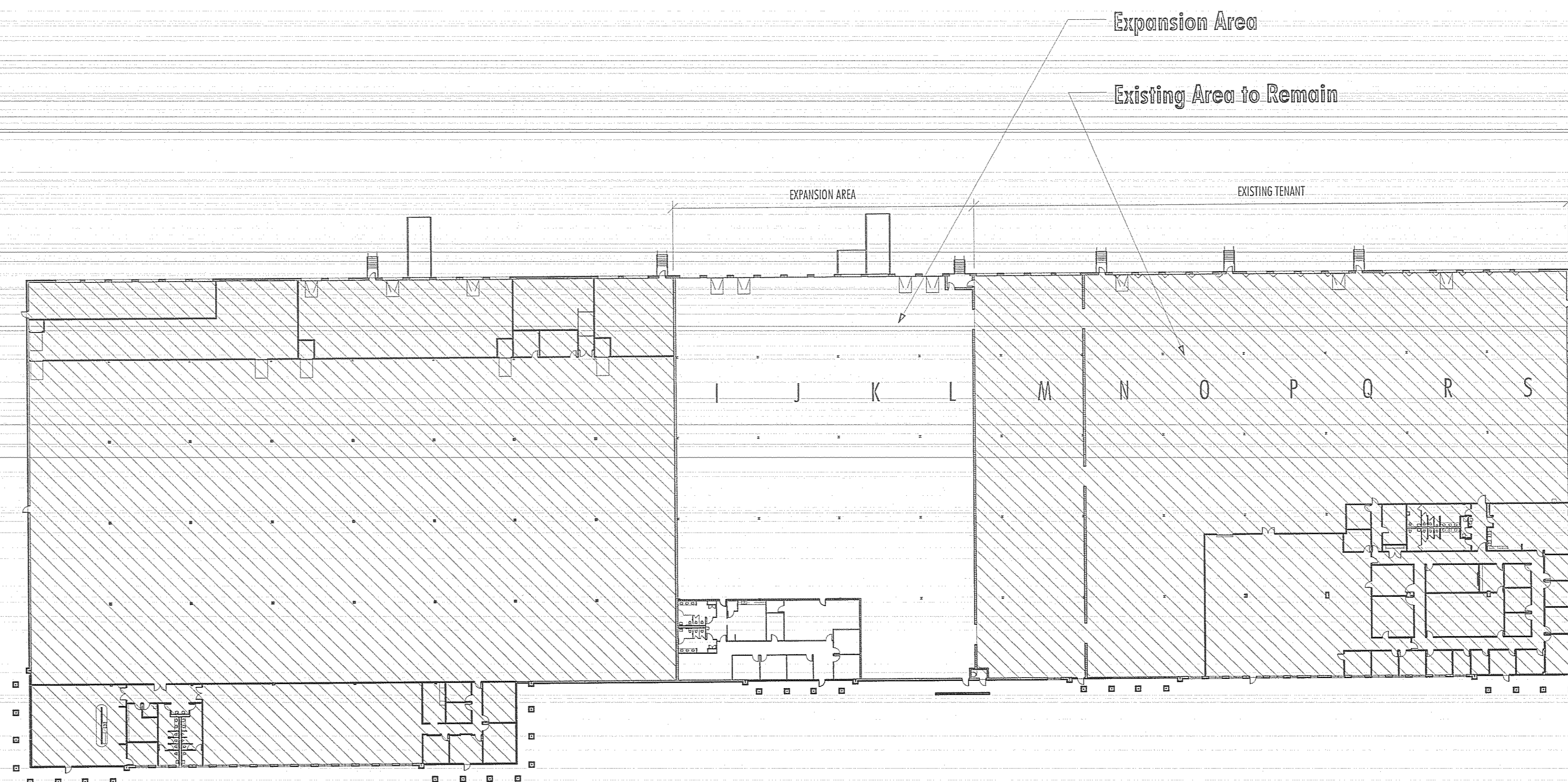
| | |
|----------------------|---|
| Architectural | |
| I-1 | Cover Sheet |
| I-2 | Warehouse and Life Safety Plan |
| I-3 | Demolition and Partition Plan and Finish Schedule |
| I-4 | Reflected Ceiling and Power/Comm Plans |
| Mechanical | |
| M1.0 | Mechanical Legend, Schedules and Specifications |
| M2.0 | Mechanical Floor Plan |
| Electrical | |
| E1.0 | Electrical Legend, General Notes & Electrical Riser Diagram |
| E2.0 | Electrical Lighting Plan |
| E3.0 | Electrical Power Plan |
| E4.0 | Electrical Specifications |

Parallon

8501 Westside Industrial Drive
Jacksonville, FL

Building 16, Unit I-S Westside Industrial Park

| | | |
|--|---|--|
| <p>Interior Planning & Design</p> <p>VeenendaalCave, Inc. 1170 Peachtree Street, N.E. Suite 1700 Atlanta, GA 30309</p> <p>Contact - Thomas Schneider Architect - Mark Schroeder, AIA Phone - 404.881.1811 Fax - 404.876.1289 Email - tschneider@vcave.com; mschroeder@vcave.com</p> | <p>Property Manager</p> <p>Patillo 580 East Ponce de Leon Ave. Stone Mountain, GA 30083</p> <p>Contact - Craig M Swaney Phone - 770.200.3637 Email - cswaney@patillo.com</p> | <p>MEP Engineer</p> <p>Cornerstone Design LLC 504 Indian Trail Rd. Suite 201C Lithium, GA 30047 770-717-0040 Office</p> <p>Contact - Sam Pava Phone - 404-273-4393 Email - spava@csdesign.com</p> |
|--|---|--|



1 Key Plan
1-1 1" = 40'-0"

REVIEWED
Jacksonville Fire Prevention Dept.
DEC 14 2016
NO EXCEPTIONS
EXCEPTIONS AS NOTED
SHEET #

PLAN REVIEW AND ISSUING
OF PERMIT DOES NOT RELIEVE
CONTRACTOR OF COMPLYING
WITH ALL CODES

BUILDING PLANS EXAMINER
REVIEWED FOR
CODE COMPLIANCE
KEEP THIS PLAN ON JOB
NOV 29 2016
Building Inspection Division - Jacksonville, FL
Electronic Signature
E. J. ...

CITY SET

M6-814793

ISSUED FOR CONSTRUCTION

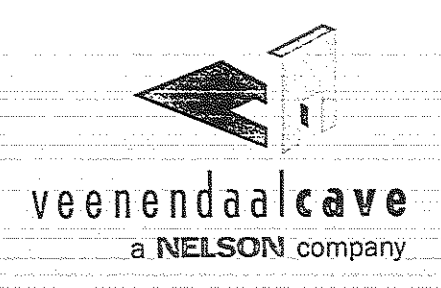


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PROJECT DESIGN TEAM



1170 Peachtree St. N.E.
Suite 1700
Atlanta, Georgia 30309
404.881.1811
vcave.com
Interior Design • Space Planning

DRAWING ISSUE RECORD

| DATE | INITIALS/DISPOSITION |
|----------|-------------------------|
| 10/28/16 | ISSUED FOR CONSTRUCTION |

PROFESSIONAL SEAL

Digitally signed by Mark S Schroeder
DN: cn=Mark S Schroeder, o=veenendaalCave.com, ou=veenendaalCave.com, email=mschroeder@vcave.com, c=US
Reason: I am approving this document.
Date: 2016.10.28 14:57:17-04'00'

PROJECT NAME

Parallon
Building 16
Unit I-S

8501 Westside Industrial Dr
Jacksonville, FL

Westside
Industrial Park

Duval County

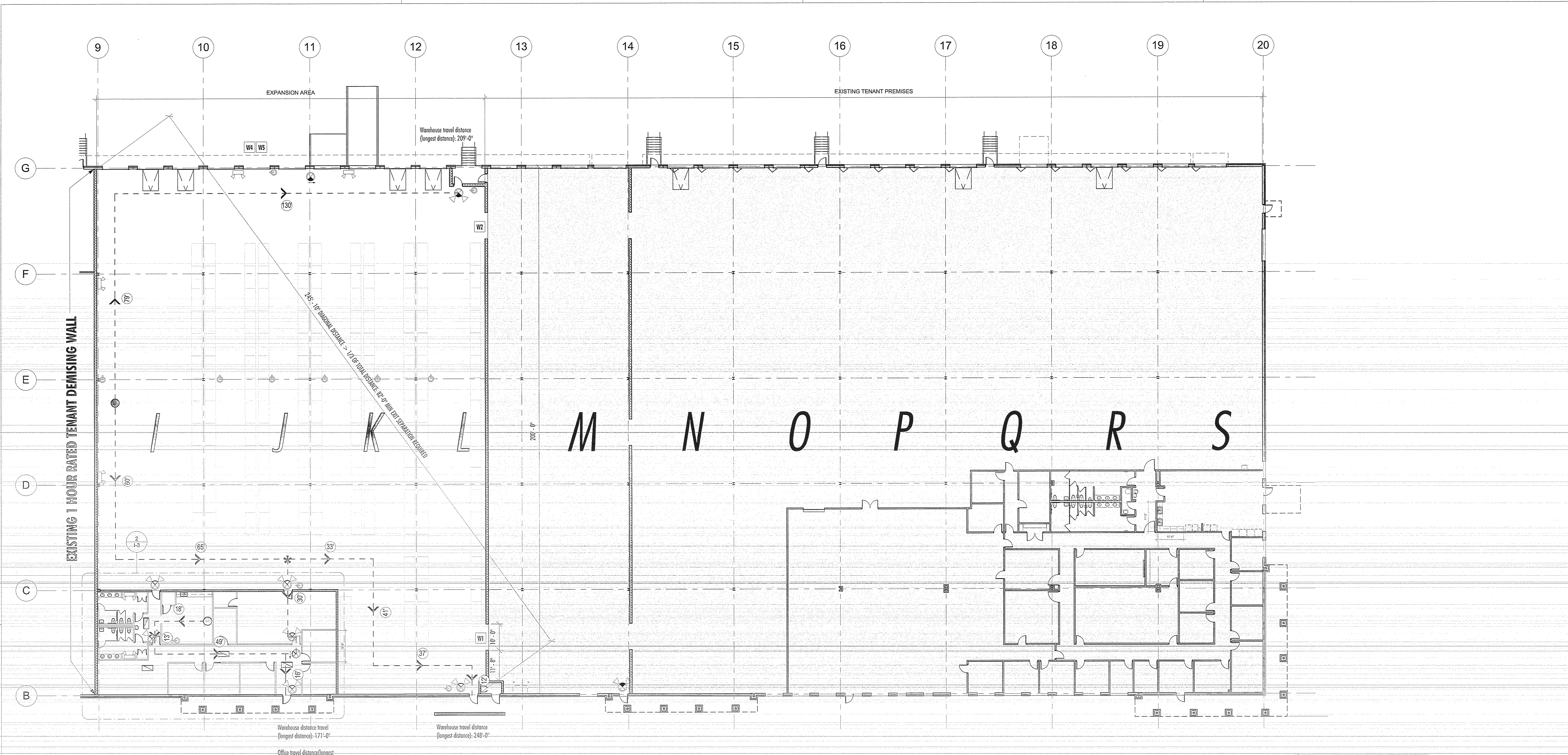
SHEET TITLE
Cover Sheet

JOB NUMBER
105802.1603

SHEET NUMBER

1-1

| DATE | INITIALS/DESCRIPTION |
|----------|-------------------------|
| 10/28/16 | ISSUED FOR CONSTRUCTION |



1 Warehouse Plan
1/16" = 1'-0"

General Construction Notes

- Engineering Documents**
The architectural documents are for configuration purposes only, and are not intended to be utilized as an engineering document. All required engineering shall be provided by a state licensed engineer and are the responsibility of the Contractor.
- Pre-bid Job Site Visit**
Prior to submitting bid, Contractor shall visit job site and notify the Landlord of any physical conditions not included in the construction documents, requiring corrective action. The Contractor shall verify field conditions and shall carefully compare such conditions and other information known to the Contractor with the contract documents before submitting bid. The contractor shall notify VeendaalCave at once of any errors, inconsistencies or omissions.
- Scale and Dimensions**
Do not scale drawings. Larger scale plans and details will take precedence over smaller scale drawings. All dimensions indicated on plan are from face of existing partition to center line of new partition or center line to center line of new partitions unless clear or critical is indicated.
- Existing Conditions**
Contractor shall field verify existing conditions prior to ordering materials, beginning fabrication or starting construction. Notify Designer/Architect and Property Manager/Landlord immediately if any condition will impact the proposed scope defined in these plans. All existing conditions throughout Existing Site to remain, unless otherwise noted. Existing conditions include but are not limited to: finishes, millwork, lighting, ceiling, plumbing, windows & doors, specialty items, etc. Existing conditions are not included in the scope of this project unless specifically noted. Designer is not responsible for any pre-existing conditions/items throughout Existing areas that have not been specifically included in the scope of the project and brought to Designer's attention.
- Existing Hazardous Materials**
An investigation has not been performed to determine if hazardous materials, including but not limited to mold and/or asbestos are present within the confines of this project. The presence of any such hazardous materials is not expected. If a questionable material is encountered, stop work in that area immediately and notify the Landlord. Work in that area shall be suspended until this material is identified by an Landlord-employed testing agency.
- Codes**
All construction shall comply with national, state and local building codes; During work, Contractor shall comply with 2012 IBC Section 3302 Construction Safeguards, Section 3303 Demolition, and Section 3309 Fire Extinguishers.
- Document Control**
If there is a conflict in the drawings, or between the written specs and the drawings, the Contractor shall be responsible for the more expensive of the options.
- Existing Life Safety Components**
Verify all existing life safety components throughout Suite (including emergency lights, exit signs, horn/strobe devices, and fire extinguishers) are in good working condition and meet current jurisdictional codes; provide new as required.
- Building Policies/Work Regulations**
Contractor shall have a full understanding of specific policies of the Landlord for completing work on the property. Contractor and SubContractors shall at all times perform work in strict accordance with the Landlord's requirements and all applicable codes, laws, rules, and regulations having jurisdiction. Contractor shall coordinate with Property Management for specifications of building standard items. Contractor shall contact Landlord or VeendaalCave with any questions or for definition of Building Standard as noted in these documents. Contractor is responsible for all required building permits and inspections of work. Contractor shall obtain a permanent Certificate of Occupancy prior to Tenant move in.
- Quality of Work**
All work is to be of complete and quality construction free from defects and damage. All materials implied and/or described are to be installed according to Manufacturer's specifications.
- Noise Restriction**
Any construction operations that infringe on a Tenant's quiet use of a leased area, or as directed by a Construction/Property Manager, shall be performed after hours. All doors into the construction areas are to remain closed at all times.

General Construction Notes

- Construction Precautions**
The Contractor shall be responsible for taking adequate precautions to protect building occupants, materials, and existing finishes throughout all phases of construction. Noise, security and dust barriers between construction areas and occupied or public areas shall be maintained by Contractor. All barriers shall comply with 2013 NFPA 241 - Safeguarding Construction, Alteration and Demolition Operations, Section 4.3 - Temporary Structures which requires temporary enclosures (e.g. dust barriers) to be constructed using noncombustible, flame-resistant, etc. materials. The use of polypropylene plastic or similar combustible materials (plywood, etc.) to enclose demolition work is not permitted by this section. Provide Amercover fire retardant 10 mil. reinforced fire rated plastic sheathing PSR 10FR (or app. eq.) secured to ceiling and floor except where used as an ingress/egress to the area of construction.
- Construction Debris/Clean Up**
Debris resulting from demolition/construction shall be removed entirely from the site on a daily basis to a waste area provided by the Contractor. All areas of construction shall be clean, orderly and left in a broom swept condition daily. Contractor shall clean site at end of project. All dust, debris, silt, stains, fingerprints and labels shall be removed from all finished surfaces. Contractor shall utilize a dumpster service that will recycle construction waste unless not allowed by the local jurisdiction. Contractor shall identify construction haulers and recyclers to handle designated materials shall obtain verification that directed materials are recycled or stored as intended.
- Equipment**
All appliances and equipment specified in documents shall be provided and installed by the Contractor, unless noted otherwise. Contractor shall provide cut-sheets to Landlord for approval prior to ordering.
- Substitutions**
Any brand name product specified by Landlord shall not be substituted without written permission from Landlord. Any substitutions proposed by Contractor shall be submitted to Landlord for approval prior to ordering or fabrication. It is the Contractor's responsibility to research and verify that performance and construction specifications meet those of the originally specified item prior to submission for approval.
- Long-Lead Procurement/Delivery Notice**
Contractor acknowledges that Building Standard hardware, finishes, and light fixtures are long-lead procurement, delivery and installation items. Contractor shall schedule order accordingly to ensure timely completion. During the bid phase, the Contractor shall note any items known to be long-lead items in their bid as they relate to the schedule. Contractor, upon awarding contracts to SubContractors, shall submit to the Landlord a list of all items and their delivery schedules. The Contractor shall identify all long-lead items on the project (e.g. materials, fabrics, hardware, carpet, light fixtures, etc.). The Contractor, prior to ordering on item, shall be responsible for notifying VeendaalCave and the owner of any item which may cause the project to be delayed.
- Building Core Condition**
All Mechanical, Electrical, Telephone, and Janitor Rooms must be put back in the condition they were before any work was completed by the Contractor/SubContractors (including SubContractors hired by Tenant). These areas shall be cleaned thoroughly, including floors to be swept and mopped.
- Abbreviations/Definitions**
The following is a list of commonly used abbreviations or phrases and their definitions.
a.f.f. - Above Finished Floor, bldg. std. - building standard, Clr - Clear, Eq - Equip, FRT - Fire Retardant Treated, GWB - Gypsum Wall Board, h.m. - hollow metal, Min - Minimum, N/C - Not in Contract, Opp. Hand - Opposite Hand, S.B. - Sound Attenuation Blankets, Sim - Similar, TYP - Typical, UNO - Unless Noted Otherwise, VIF - Visibly In Field, R.S. - Racking/Shelving - For reference only. All racking/shelving to be provided and installed by Tenant, alteration the existing fire alarm and fire sprinkler system shall be filed under a separate permit.

Fire Department Notes

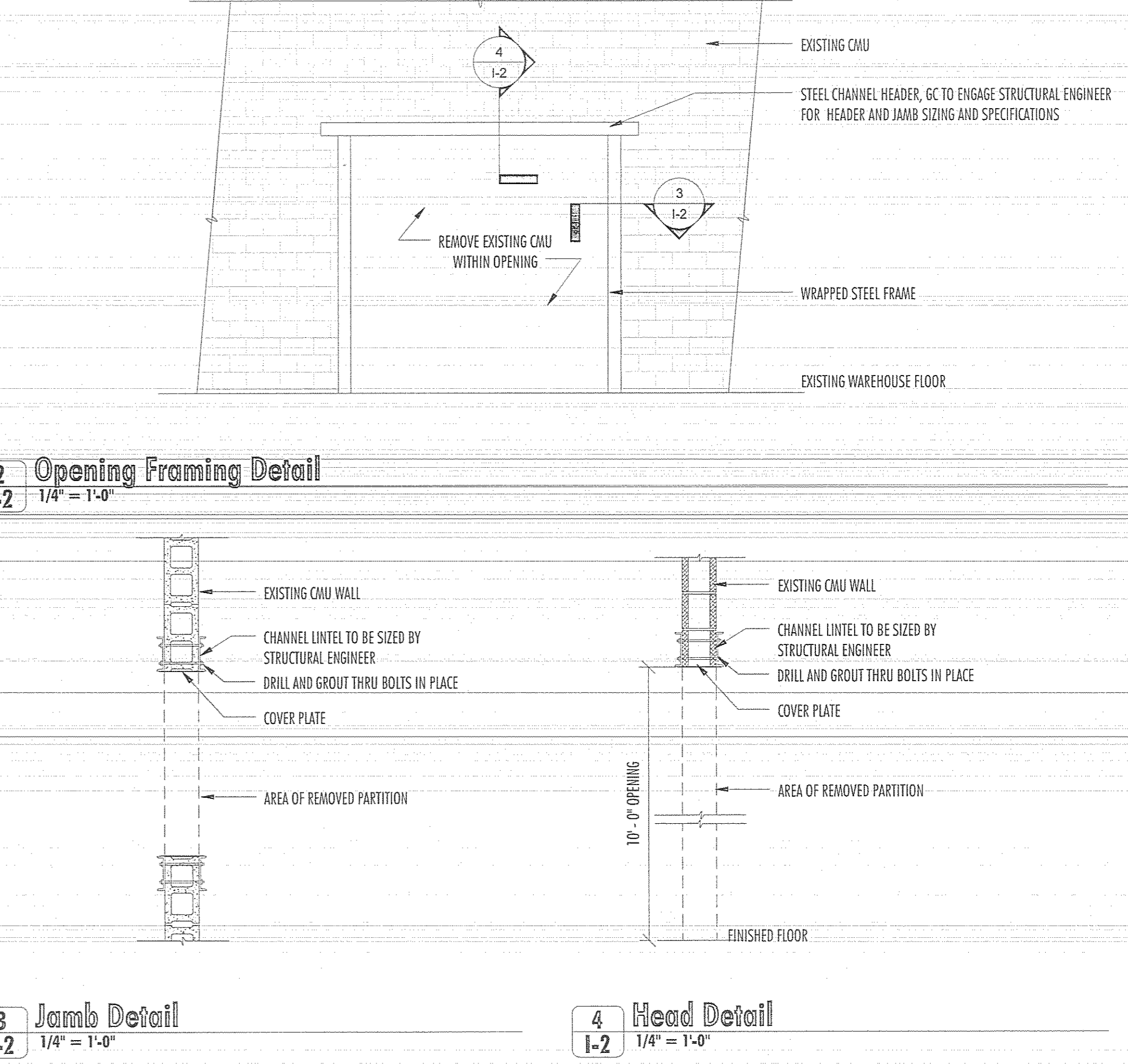
- F1 - Signage Requirements**
Install rigid plastic or metal signs on every other rack end. Signage must include:
MAXIMUM STORAGE HEIGHT: _____
LONGITUDINAL FLUE SPACE: _____
TRANSVERSE FLUE SPACE: _____
KEEP FLUE SPACE CLEAR AT ALL TIMES
- Signs shall be white in color.
Letters on signs shall be a minimum 3" black letters placed on input end of each run.
Signs shall be permanently affixed to racks between 80" to 96" measured from the floor.
- F2 - Exit Signage** - Provide exit signage at all egress door locations.

Symbol Legend

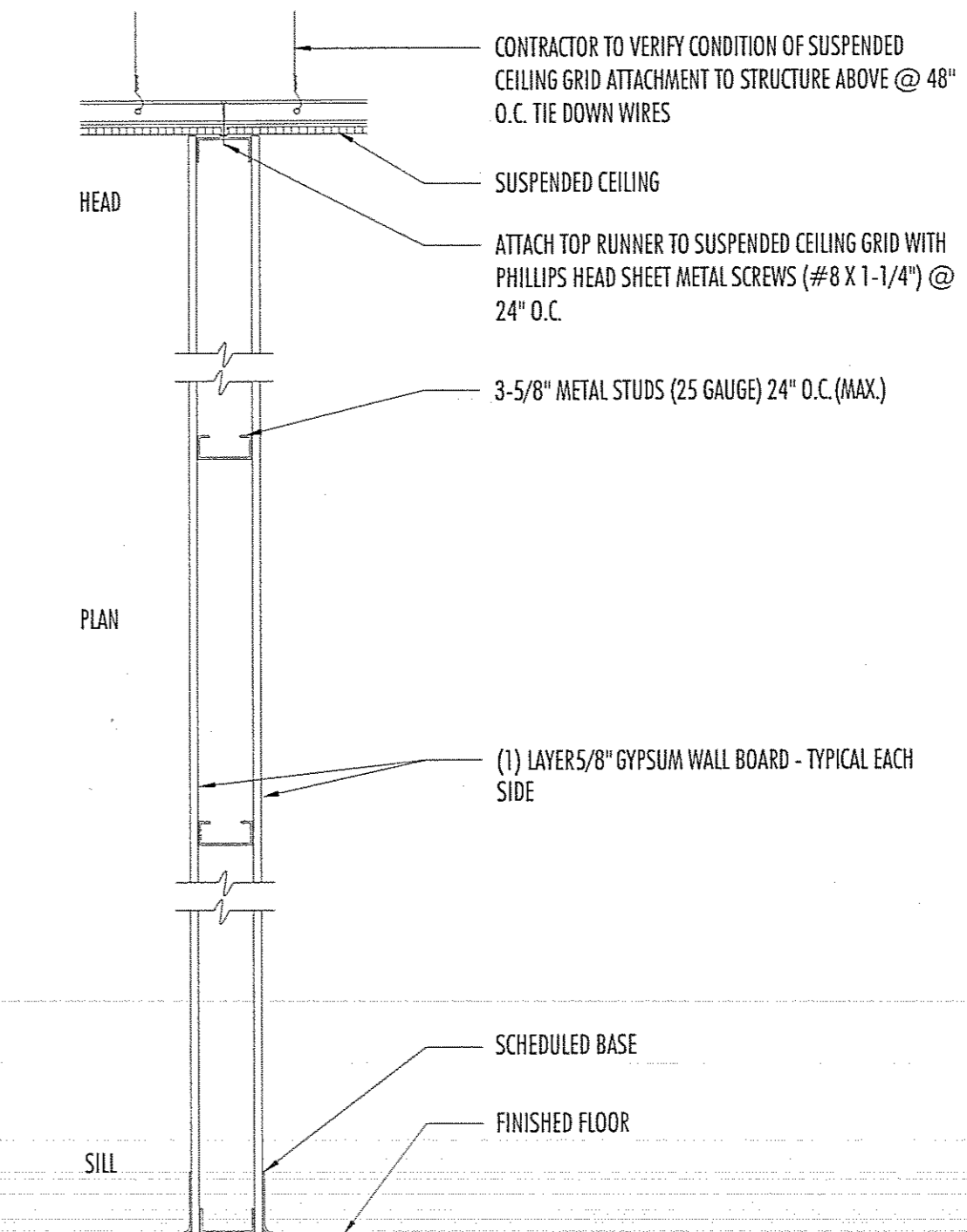
- Light Fixture - Emergency 2x4 T5 Fluorescent fixture with acrylic lens
- Fire Extinguisher - Wall Mounted
- Exit Sign - Exit Sign (Battery Pack Back-up) & Emergency Light Combo
- Exit Sign - Exit Sign (Battery Pack Back-up)
- Light Fixture - Emergency Light (Battery Pack Back-up)
- Path of Travel and Distance
- Symbol - Point of Choice
- Symbol - Remote point for travel distance

Warehouse Plan Key Notes

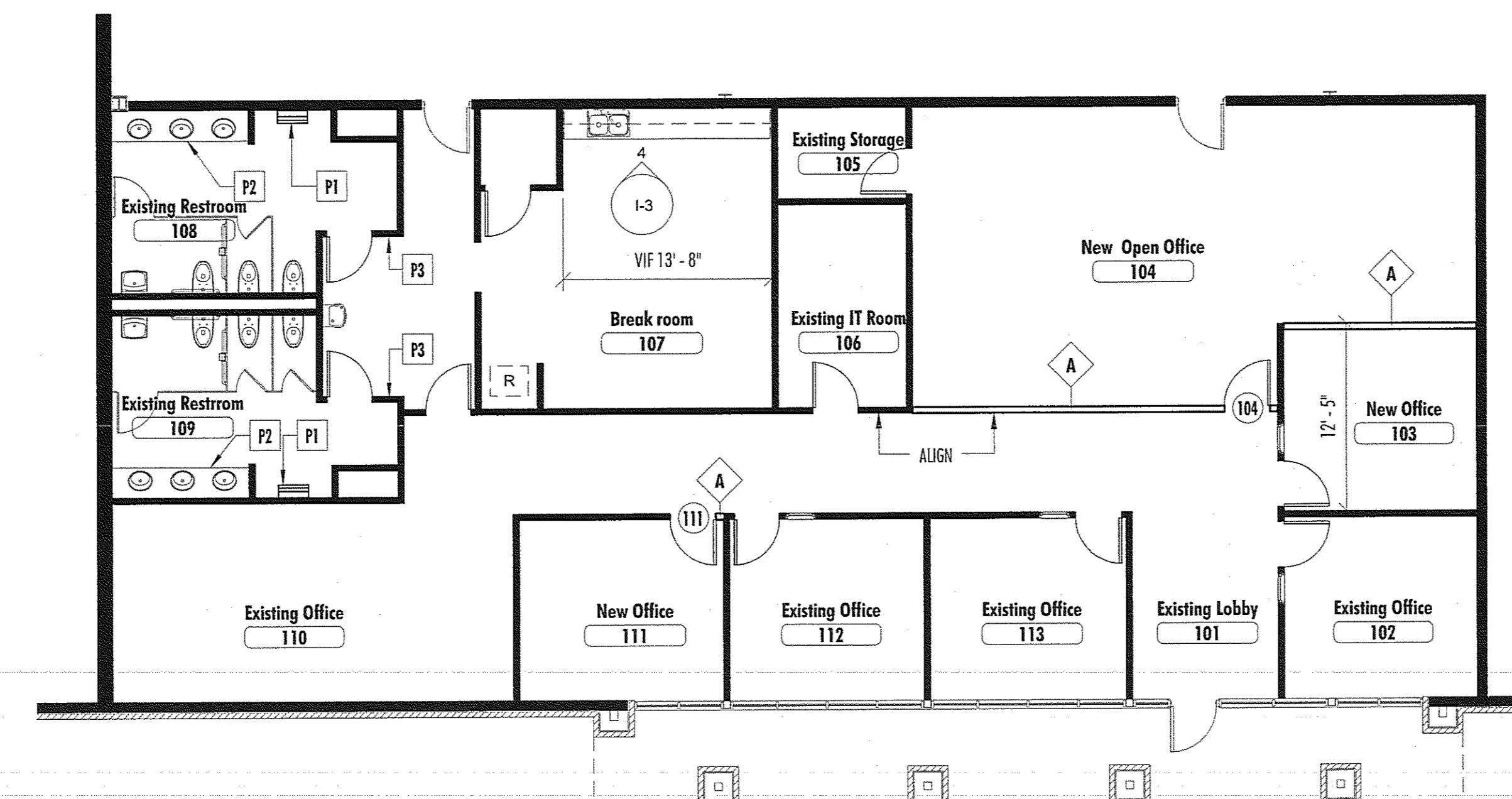
- Stored Commodities:** Commodities stored shall be Class IV Commodity (a complete listing of products can be provided by the proposed Tenant if required). There will be no hazardous paints, chemicals or compounds on site.
- Exposed Concrete Sealers:** All areas with an exposed concrete floor shall be thoroughly cleaned and prepared to receive concrete sealer. Apply (2) coats of Sonoborn "Lapalidith" or Ashford concrete hardener and sealer on any new unsealed development project. Floors that have been previously sealed with acrylic sealer shall be machine scrubbed and ressealed with 18% solids seal prior to occupancy by a new Tenant.
- Warehouse Walls:** Warehouse walls are to be painted with (2) coats of acrylic flat white paint. Adhere to all surface preparation and application requirements per manufacturer's product specification data. Standard of quality shall be PPG/Porter Paints professional best product offering such as PPG Porter Paints Acry Pro 100 Exterior Acrylic House Paint, flat white. Provide and install 1x6 wood base on warehouse side of office/warehouse wall only (sealed to match wall).
- W1 - Remove portion of existing CMU wall or demising wall for new 10'x10' opening. Refer to Opening Framing Detail 2/I-2**
- W2 - Remove existing CMU infill at demising wall.**
- W3 - Existing exposed ceiling structure to be painted/finished with acrylic dryfall flat white paint. Adhere to all surface preparation and application requirements per manufacturer's product specification data.**
- W4 - Provide and install (4) Frammate 610 Eliminator II dock shelter/boots dock seats to be located at all dock leveler locations (on app. eq., confirm locations with Landlord, must be mounted per manual instructions).**
- W5 - Provide and install Serco or Rite Hite 24" model B410-24 dock bumpers where missing. Anchor to embed dock angle and anchor per manufacturer's instructions.**
- W6 - Provide and install warehouse lights per tenant specification throughout warehouse. Lights to be switched from breakers; main panel to be located along exterior wall near side exit door. See Engineering Drawings.**
- W7 - All racking/shelving is to be provided and installed by Tenant under a separate permit. All required documentation on such racking/shelving including floor plans, dimensions of aisle/aisles, elevations, connection details, anchors, maximum loading capacities and all racking/shelving specifications, signed and sealed by a Florida State Licensed engineer shall be provided under a separate permit application.**
- W8 - Notarized affidavit shall be provided by the Tenant or building owner stating that racking/shelving shall NOT be installed without obtaining a permit from the building department.**



ISSUED FOR CONSTRUCTION



3 Partition Type A
1/2" = 1'-0"



2 Office Partition Plan
1/8" = 1'-0"

| Room Number | Door Type | Width | Height | Material | Finish | Frame | Function | Notes |
|-------------|-----------|-------|--------|-----------------|--------|--------------|-----------|---------|
| 104 | A | 3'-0" | 7'-0" | Solid Core Wood | Paint | Hollow Metal | Classroom | 1, 2, 3 |
| 111 | A | 3'-0" | 7'-0" | Solid Core Wood | Paint | Hollow Metal | Classroom | 1, 2, 3 |

Door Hardware:

Hollow Metal Door:
Door: 18 gauge, core to have vertical steel stiffeners, 1-3/4" thickness, sizes as noted on the plans
Frame: pressed metal, 16 gauge, mitered corners, silencers knock-down frames at sheetrock walls, welded frames at masonry walls

Solid Core Wood Door:
Doors: Mohawk Premium 2000, 1-3/4" thickness, flush panel solid core wood, Rotary Birch Select White, factory pre-finished in Teak or Mahogany (match existing), www.mohawkdoors.com
Frame: pressed metal, 16 gauge, mitered corners, silencers knock-down frames at sheetrock walls, welded frames at masonry walls

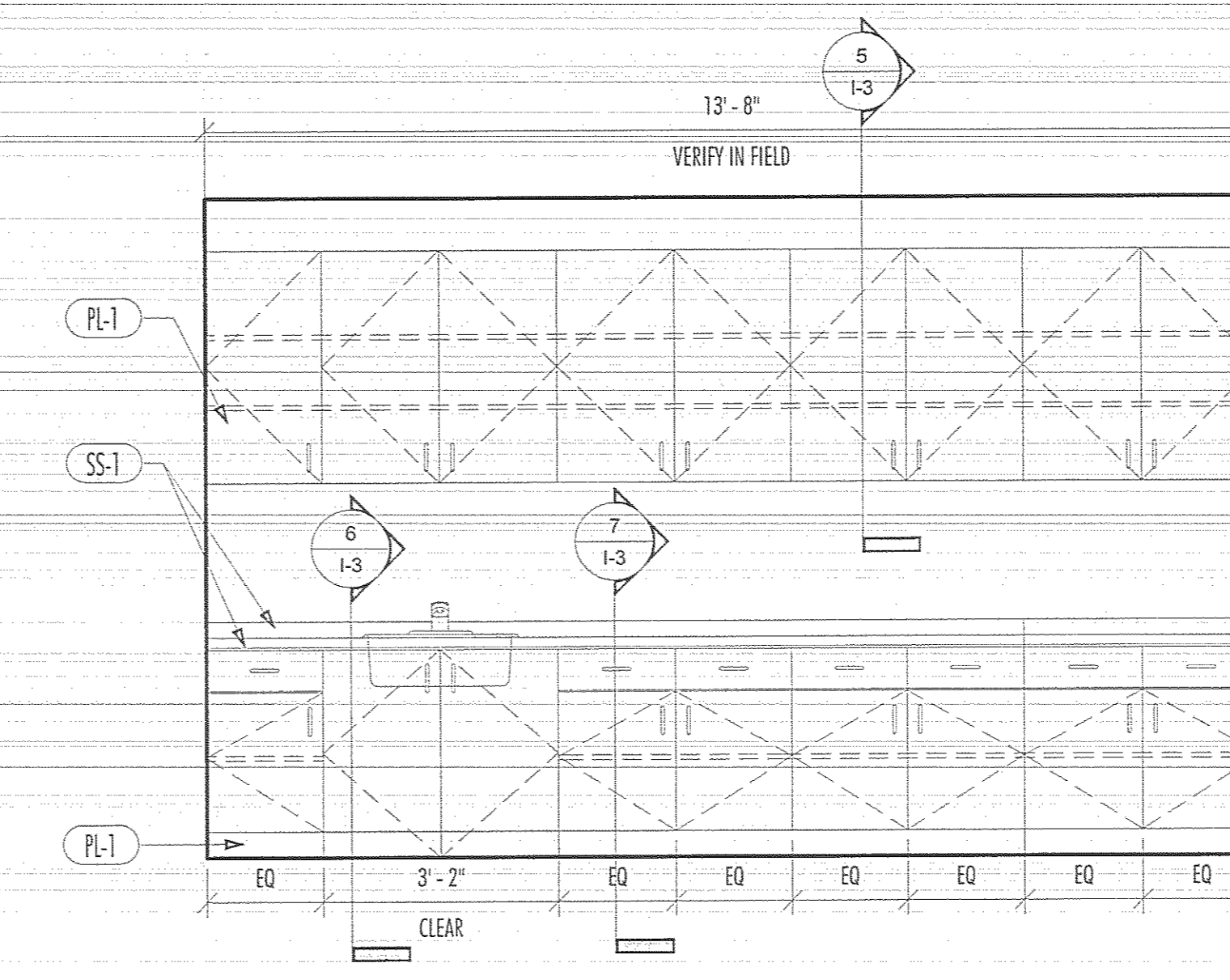
Approved manufacturers: Geac Door Products, Republic Builders Products Division

Finish Hardware:

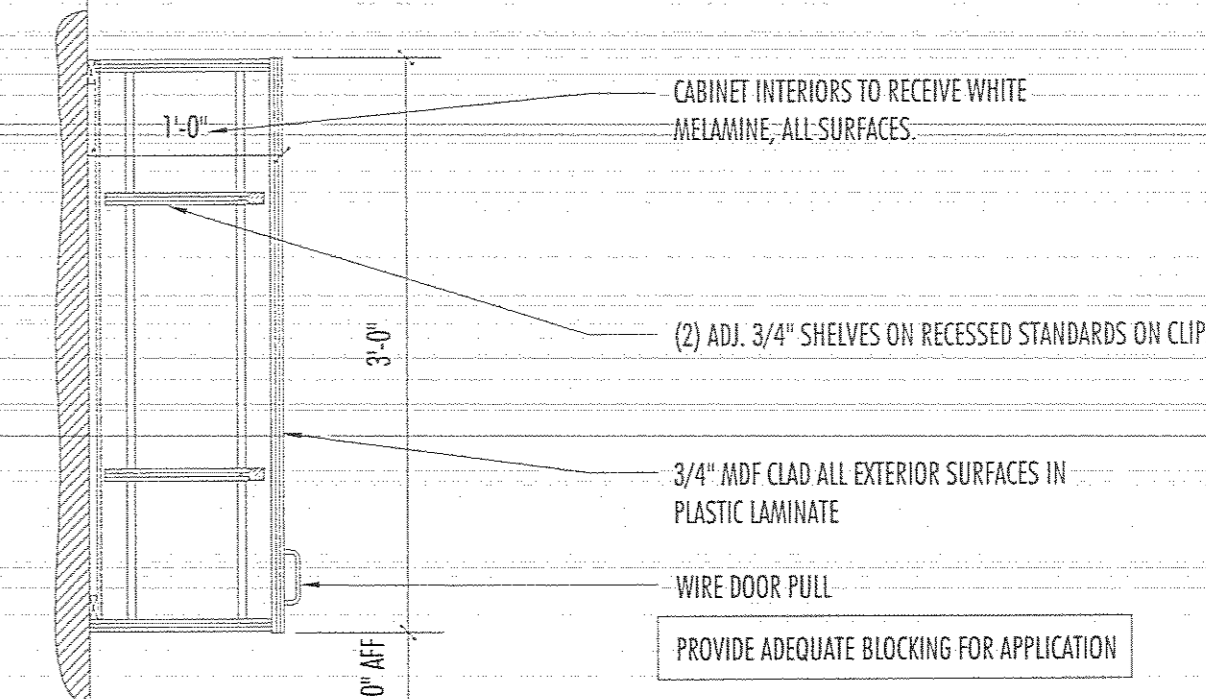
Interior Lockset
Hager 5300 Series Lever, Series 4000 Grade 2, US240 Finish, www.hager.com
Schlage AL-Series Standard Duty Commercial Lockset, NemaSpec, 624 (US240) Finish, Series 4000 Grade 2, www.schlage.com
Keyway is to Schlage SC1/pin

Closers
Hager surface mount door closer, 5300 Series, Grade 1, aluminum painted finish
LDI surface mount door closer, 1271 Series, Grade 1, powder coat finish
Horton aluminum storefront door closer, 1400R/C/161 Series, Grade 1, aluminum or stonary bronze finish to match storefront system, www.hortonhardware.com

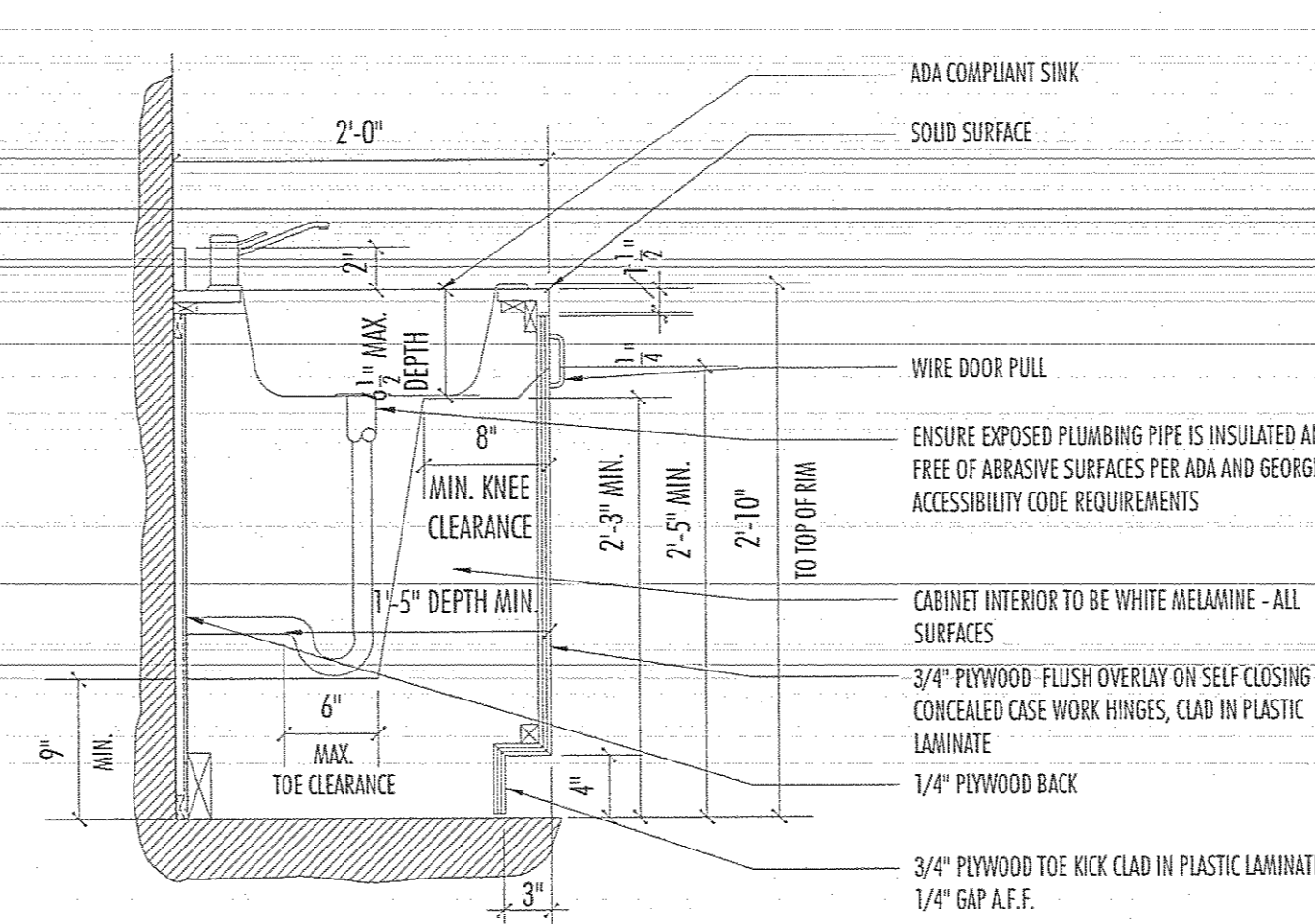
Hinges
McAlamy Assa Abloy, full mortise steel hinges, five knuckle, ball bearing, standard weight series, AP979, US240 gal Series 881279, full mortise hinges, five-knuckle, ball-bearing, standard weight, US240 finish (doors with closers)
Hager Series FB1279, full mortise hinges, five-knuckle, plain-bearing, standard weight, US240 finish (doors without closers)



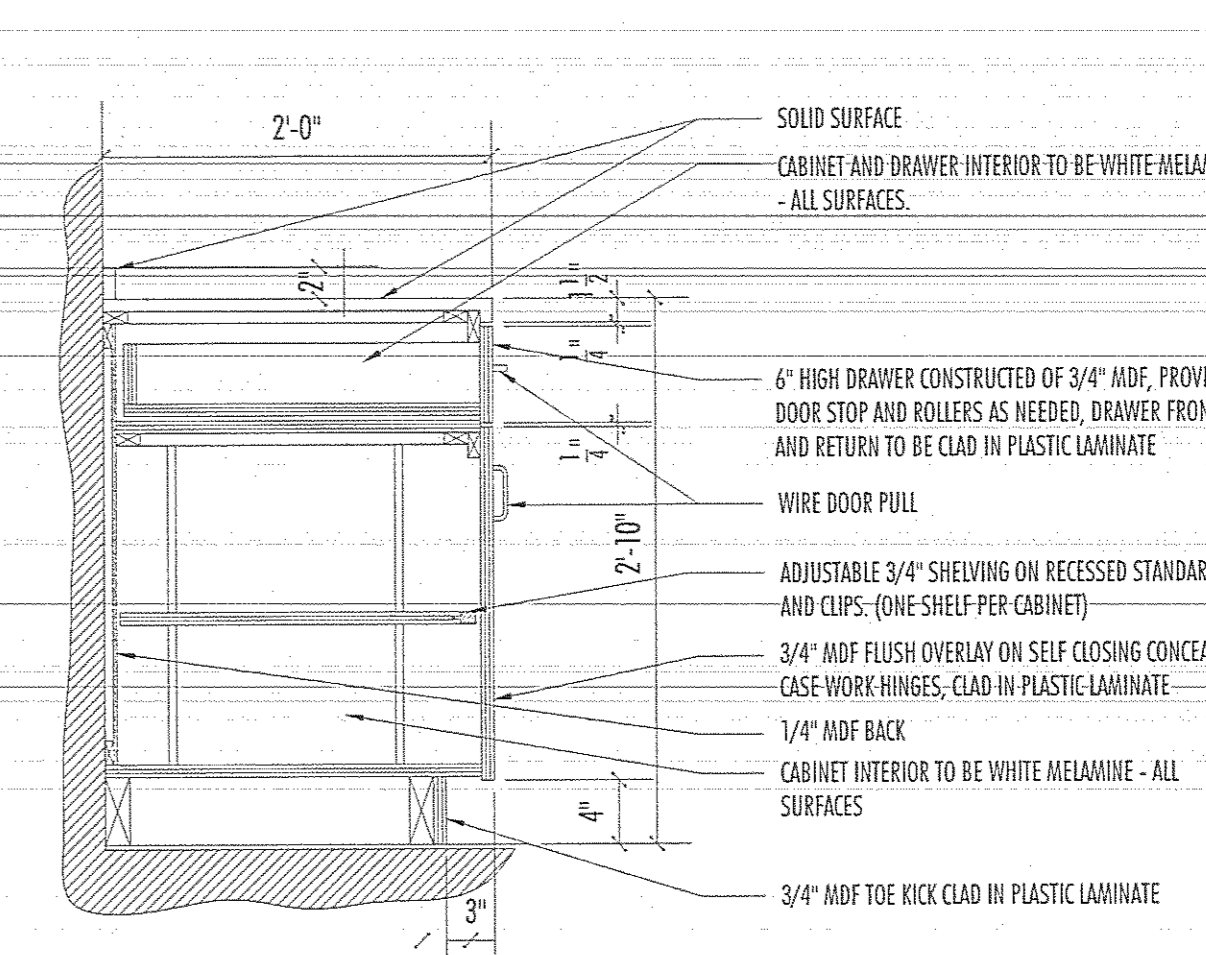
4 Elevation - Break Millwork
1/2" = 1'-0"



5 Section - Upper Cabinet
1/2" = 1'-0"



6 Section - Base Cabinet with Sink
1/2" = 1'-0"



7 Section - Base Cabinet
1/2" = 1'-0"

Door Types

| A | Finish Panel |
|---|-----------------|
| 1 | Closer |
| 2 | Lockset |
| 3 | Wall/Floor Stop |

Door Components

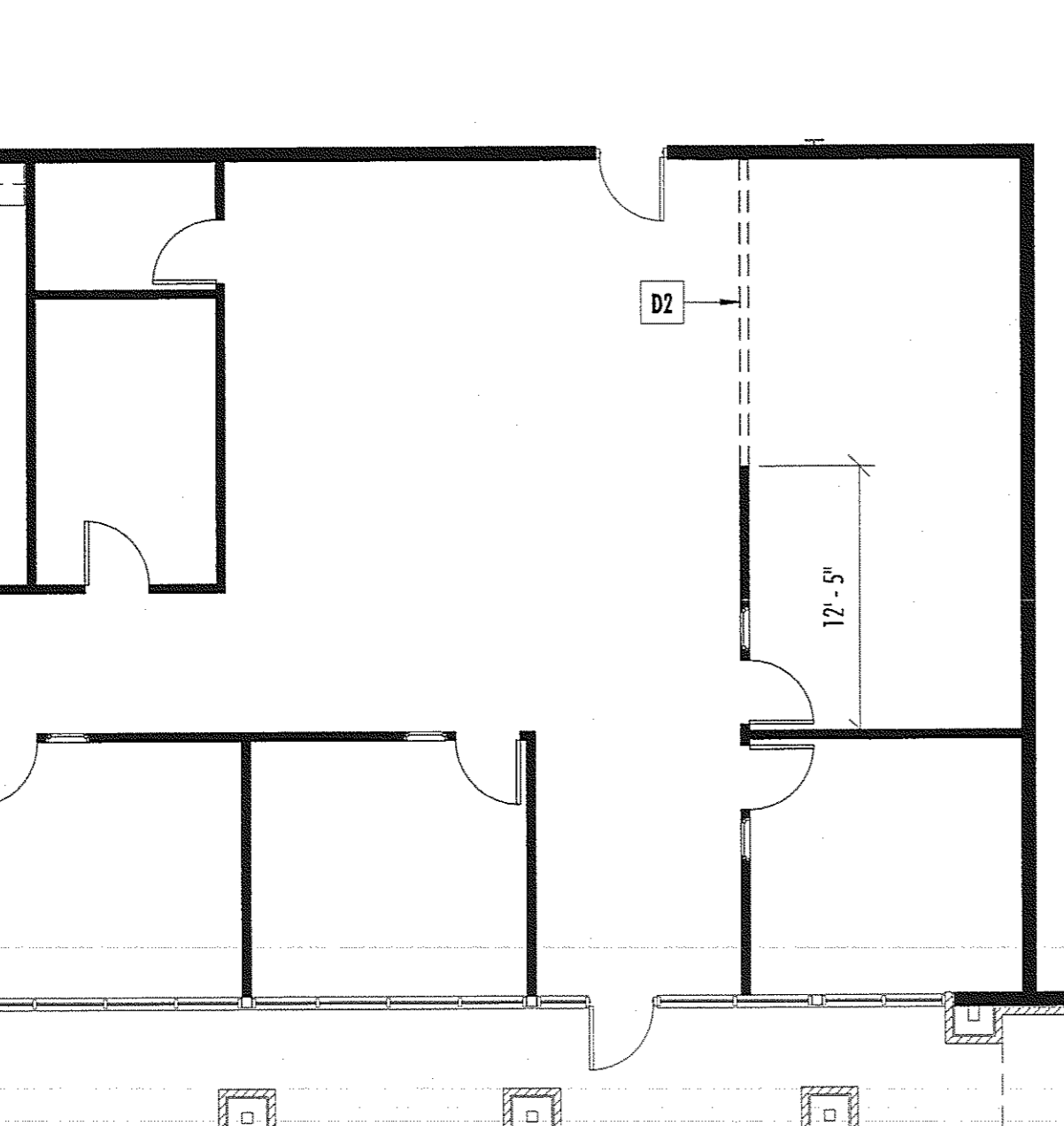
| | |
|---|-----------------|
| 1 | Closer |
| 2 | Lockset |
| 3 | Wall/Floor Stop |

Lockset Functions

| Classroom | For classroom, office or utility room; outside lever locked by key, inside lever always unlocked |
|-----------|--|
| 1 | |

Symbol Legend

| | |
|--|---|
| | Partition - Existing to Remain |
| | Partition - New Partition Wall to be Demolished |
| | Partition - New Partition Wall |
| | Door - New Construction |
| | Key - Note |
| | Key - Door Type |
| | Key - Partition Type |



1 Main Office Demolition Plan
1/8" = 1'-0"

Demolition Plan General Notes

1. Extent of Demolition
Contractor shall be responsible for any damage to finishes or components not scheduled for demolition. Damaged items shall be repaired or replaced to meet or exceed former conditions. The renovation, demolition, and/or new construction will utilize as much of the existing ceiling grid, lighting fixtures, sprinklers, ceiling tile, ceiling diffusers, ductwork, thermostats, speakers, exit signs, emergency lighting, switches, outlets, cover plates, hardware, blinds, partitions, and the like that will conform and blend with the proposed new tenant layout unless noted otherwise.

2. Salvage and Storage
Contractor shall exercise care in removal of any components (i.e. doors, frames, fixtures, ceiling tile, copper piping) which may be salvaged for reuse on this or future projects. Contractor shall coordinate appropriate storage locations for such components with the Property Manager. Any excess components not reused on this project are to be turned over to the Landlord for future reuse.

Demolition Plan Key Notes

- D1** - Remove millwork as indicated. Cap waterline temporarily for re-use at Breakroom # 107.
- D2** - Remove partitions as indicated, partitions to be removed in their entirety.
- D3** - Remove counter top and sinks. Cap waterline temporarily for re-use.

Partition Plan General Notes

1. Accessibility
We certify that we have prepared these plans in conformity with the Florida Accessibility Code referencing the 2010 ADA (Americans with Disabilities Act) Standards for Accessible Design for making buildings and facilities accessible to and usable by people with disabilities to the best of our knowledge, information and belief to the scope of this work herein permitted.

2. Field Verification of Dimensions
During construction Contractor shall field verify all proposed dimensions on site and notify Veendaa|cave and the Landlord of any discrepancies that will impact the proposed scope defined in these documents prior to ordering materials or beginning fabrication. Contractor shall verify clear dimensions will accommodate Tenant's equipment layout with Tenant's Vendor prior to construction.

3. Gypsum Wall Board Partitions
All gypsum wallboard and metal stud construction shall be in accordance with recommendations and instructions published by U.S. Gypsum Company's 'Gypsum Construction Handbook', latest edition.

4. Fastenings
All fastenings and attachments shall be fully concealed from view.

5. Blocking
Contractor shall provide and locate fire-retardant-treated wood blocking in partitions where required to support wall hung components (i.e. standards, shelves, coat racks, task panels, display hardware) as indicated on drawings.

6. Fire-treated Wood
Contractor shall provide Flame Retardant Treated (FRT) wood per 2012 IBC, section 603.1 which states: In buildings of Type I or II construction fire-retardant-treated wood shall be permitted in nonbearing partitions where the required fire resistance rating is 2 hours or less. Type III construction provides that interior building elements use of any material permitted by the code. When painting is required, the contractor shall verify material compatibility and use only paint that does not void warranty of the Flame Retardant Treated (FRT) wood.

Partition Plan Key Notes

Exposed Pipes and Surfaces: Provide and install insulation over hot water pipes and drain pipes (must comply with accessibility standards).

Backflow Prevention Device: If required, a backflow prevention device shall be installed, comply with all applicable parts of 2014 FPC Section 608.

Landlord specifications: Refer to all landlord specifications for all building requirements and specifications unless otherwise noted.

P1 - Provide and install new electric hand dryers as indicated. See **Toilet Accessory Schedule**.

P2 - Provide and install solid surface countertop and sinks as indicated at existing plumbing locations. See **Toilet Accessory Schedule**.

P3 - Provide restroom signage in compliance with FBC 101.1 and FBC.NC. 216.4, 703.1, 703.2 and 703.5.

Partition Schedule

Type A - New interior partition. See **detail 3/1-3**.

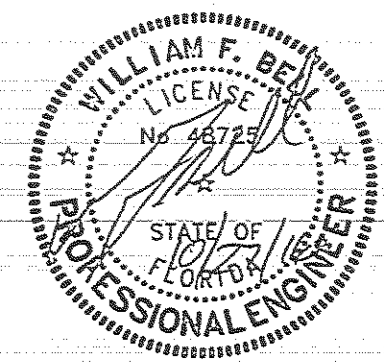
Toilet Accessory Schedule

Hand Dryer
Dyson Airblade dB14 Gray, surface mounted. Verify with manufacturer for ADA mounting heights. See Electrical drawings for voltage and amperage specifications.

Restroom Faucet and Sink
Touch Free Faucet by Eljer, verify specifications with Landlord. Provide power as necessary.

Breakroom Sink/Faucet
Elkay GEC3321-3 Double Bowl SS Sink
Delta 400LF-HDF Single Lever Lavatory Faucet
Zum 20/41SS Basket Strainer
Eid Outlets Continuous Waste - PVC
P Trap - PVC

| DATE | INITIALS/DESCRIPTION |
|------------|-------------------------|
| 10/28/2016 | ISSUED FOR CONSTRUCTION |



Parallon

**Building 16
Unit I-S**

**8501 Westside Industrial Dr
Jacksonville, FL**

**Westside
Industrial Park**

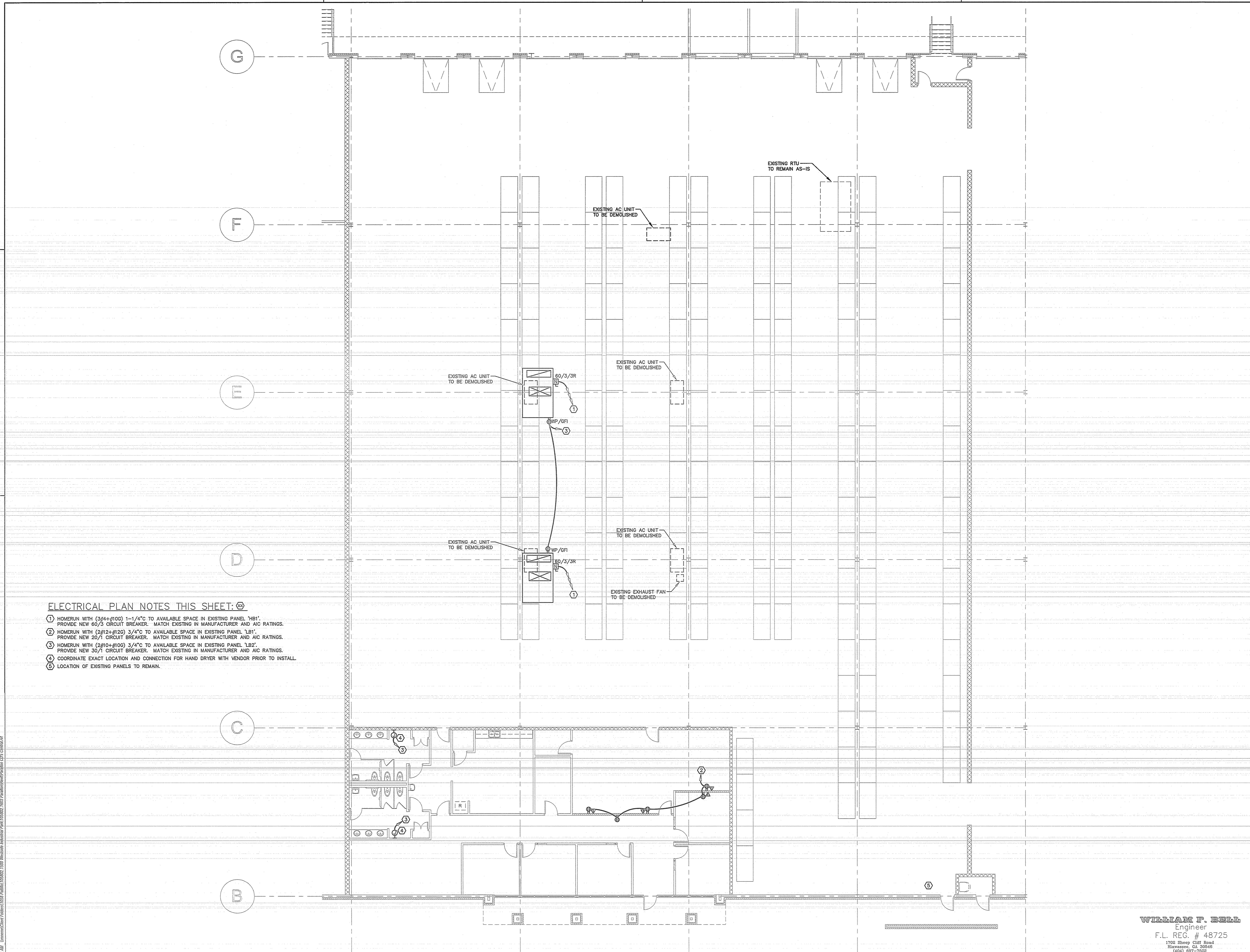
Duval County

ELECTRICAL POWER PLAN

6-814793

105802.1603

E3.0



ELECTRICAL PLAN NOTES THIS SHEET:

- ① HOMERUN WITH (3#4+#10G) 1-1/4" C TO AVAILABLE SPACE IN EXISTING PANEL "H1". PROVIDE NEW 60/5 CIRCUIT BREAKER. MATCH EXISTING IN MANUFACTURER AND AIC RATINGS.
- ② HOMERUN WITH (2#12+#12S) 3/4" C TO AVAILABLE SPACE IN EXISTING PANEL "L1". PROVIDE NEW 20/1 CIRCUIT BREAKER. MATCH EXISTING IN MANUFACTURER AND AIC RATINGS.
- ③ HOMERUN WITH (2#10+#10G) 3/4" C TO AVAILABLE SPACE IN EXISTING PANEL "L2". PROVIDE NEW 30/1 CIRCUIT BREAKER. MATCH EXISTING IN MANUFACTURER AND AIC RATINGS.
- ④ COORDINATE EXACT LOCATION AND CONNECTION FOR HAND DRYER WITH VENDOR PRIOR TO INSTALL.
- ⑤ LOCATION OF EXISTING PANELS TO REMAIN.

ELECTRICAL POWER PLAN
SCALE: 1/8" = 1'-0"

ISSUED FOR CONSTRUCTION

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