616 - 814793 Building Information

Building Description: A multi-tenant, industrial building with 163,085 gross square footage, steel structure with full height alum/glass storefront and tilt up panel facade. **Building Construction Type: II-B** Occupancy Group: S-1 Storage with B Buisness sub-classification Fire Protection: Fully Sprinklered Generator: No

High Rise: No; does not exceed 75 feet Number of Stories: 1 Story **Total Building Area:** 163,085SF

Florida Code Requirements

Building - Florida Building Code 5th Edition 2014 Fire Safety/Life Safety - Florida Fire Prevention Code 5th Edition 2014 Plumbing - Florida Building Code 5th Edition 2014 Mechanical - Florida Building Code 5th Edition 2014 Electrical - NFPA 70 - 2011 National Electric Code Energy - Florida Building Code 5th Edition 2014

Accessibility - Florida Building Code 5th Edition 2014 Accessibility

Project Information

Project Summary and Scope - Expantion of existing tenant by creating two new openings in existing CMU demising wall in order to connect and expsnd exoisting tenant suite. Limited interior alteration of existing office space and warehouse support space. Mechanical and electrical alteration are part of scope. Storage is to be used for general storage for electrical equipment parts supply.

Project Usable Area - 29,762SF Occupancy Use and Classification: S-1, Storage with B, Business sub-classification. Occupant Load Calculation for the Suite: 3,738 SF / 100 SF/person = 38 persons (Business: B)

=91 persons Classification of Hazard Contents per NFPA 101 42.1.5 & 6.2.

Contents of storage occupancies shall be classified ordinary hazard. Plumbing Calculations - IPC Table 403.1:

26,024 SF / 500 SF/person = 53 persons (Storage: S-1)

-38 persons (Business: B) = 19 Men & 19 Women Water Closets: (1 per 25 for the first 50; 1 per 50 persons after the first 50): $19 \div 25 = 0.76$ Lavatories: (1 per 40 for the first 80; 1 per 80 persons after the first 80): 19 = 40 = 0.48 $38 \div 100 = 0.38$ Water Fountains: (1per 100 persons):

-53 persons (Storage: S-1) = 27 Men & 27 Women $27 \div 100 = 0.27$ Water Closets: (1 per 100): $27 \div 100 = 0.27$ Lavatories: (1 per 100): $53 \div 1000 = 0.06$ Water Fountains: (1per 1000 persons):

Total Required = 2 WC (per gender), 1 Lavatory (per gender), 1 Water Fountain Total Provided = 3 WC (per gender), 3 Lavatory (per gender), 1 WC and Lavatory, 2 Water Fountains

Exiting Requirements for Mixed Business/Storage Occupancy:

Min. number of Means of Egress required for Storage: 1 exits required, 2 exits provided. Min_number of Means of Egress required for Business: 1 exit required, 1 exit provided. Arrangement-of-Means-of-Egress:-1/3 (sprinklered) Max. Travel Distance for Storage: 250' (Ordinary Hazard, sprinklered) Max Travel Distance for Business: 300' (sprinklered)

Max. Common Path of Travel for Storage: 100' (Ordinary Hazard, sprinklered) Max. Common Path of Travel for Business: 100' (sprinklered) Max. Dead End Corridors for Storage: 50' (Ordinary Hazard, sprinklered) Max: Dead End Corridors for Business: 50' (sprinklered) Min. door width: 32" (36" wide doors provide 34" clearance and meet the 32" requirement)

Fire Protection Requirements: Tenant Demising Walls: One-Hour-Fire Rated Wall— Occupancy Separation for Office/Warehouse (Non-Separated Use) Non-rated as per FBC Section 302.1 reference to Section 508.4 for separated use, and Table 508.4 does not require a separation between Storage (S-1) and Business (B) Occupancy ___Wall Penetrations - No Rating Required

Opening Protectives - Doors - No Rating Required Storage Rooms in Office areas- Non rated per FBC Table 508.4 (no separation required between Storage (S-1) and Business (B) Occupancy)

Table of Contents

Cover Sheet Warehouse and Life Safety Plan Demolition and Partition Plan and Finish Schedule Reflected Ceiling and Power/Comm Plans Mechanical Mechanical Legend, Schedules and Specifications Mechanical Floor Plan Electrical Electrical Legend, General Notes & Electrical Riser Diagram

> Electrical Lighting Plan Electrical Power Plan

> **Electrical Specifications**

Parallon

8501 Westside Industrial Drive Jacksonville, FL

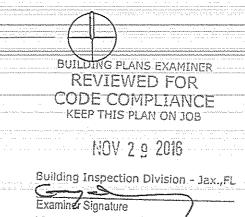
Building 16, Unit I-S Westside Industrial Park

Property Manager Interior Planning & Design 580 East Ponce de Leon Ave. 1170 Peachtree Street, N.E. Stone Mountain, GA 30083 Suite 1700 Atlanta, GA=30309 TENPATTILLO veenendaal cave Contact - Craig M Swaney Contact - Thomas Schneider Phone - 770.200.3637 Email - cswaney@pattillore.com Phone - 404.881.1811 Fax - 404.876.1289 **Email** -tschneider@vcave.com; smeekins@vcave.com

Cornerstone Design LL 504 Indian Trail Rd. Suite 201C Lilburn, GA 30047 770-717-0040 Office Contact - Sam Pena Phone - 404-273-6393 Email - spena@c-stonedesign.com

Expansion Area Existing Area to Remain EXISTING TENANT EXPANSION AREA

PLAN REVIEW AND ISSUING
OF PERMIT DOES NOT RELEIVE—
CONTACTOR OF COMPLYING
WITH ALL CODES



116-814793

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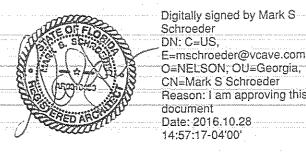


1170 Peachtree St. N.E Suite 1700 Atlanta, Georgia 30309 404.881.1811 vcave.com

Interior Design • Space Planning DRAWING ISSUE RECORD

DATE INITIALS/DESCRIPTION
10/28/16 ISSUED FOR CONSTRUCTION

PROFESSIONAL SEAL



PROJECT NAME

Parallon

Building 16

8501 Westside Industrial Dr Jacksonville, FL

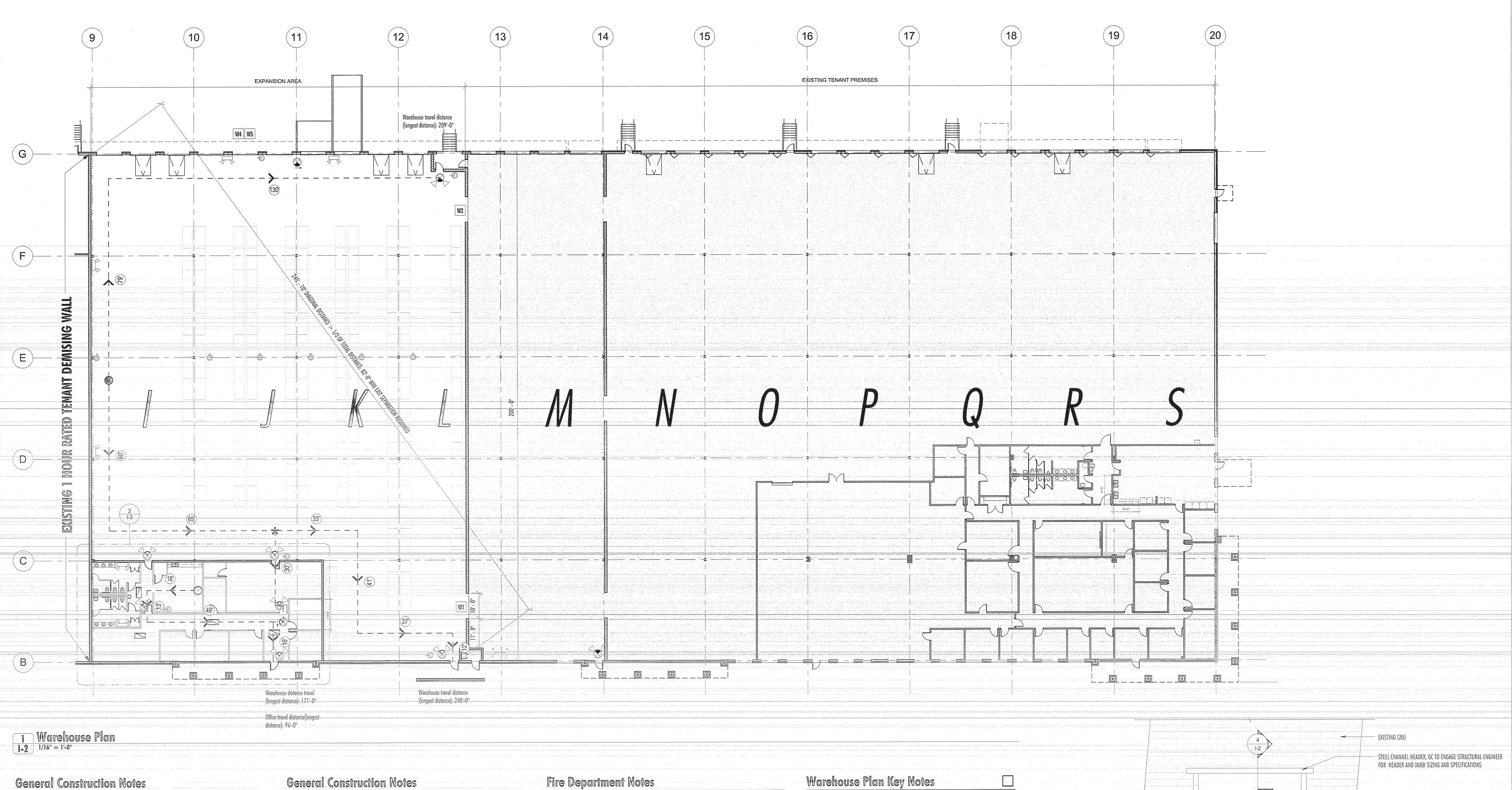
Westside Industrial Park

Duval County SHEET TITLE

Cover Sheet

JOB NUMBER

105802.1603 SHEET NUMBER



1. Engineering Documents The architectural documents are for configuration purposes only, and are not intended to be utilized as an engineering document. All required engineering shall be provided by a state licensed engineer **and are** the responsibility of the Contractor. 2. Pre-bid Job Site Visit

Prior to submitting bid, Contractor shall visit job site and notify the Landlord of any physical conditions not included in the construction documents, requiring corrective action. The Contractor shall verify field conditions and shall carefully compare such conditions and other information known to the Contractor with the contract documents before submitting bid. The contractor shall notify VeenendaalCave at once of any errors, inconsistencies or omissions.

3. Scale and Dimensions Do not scale drawings. Larger scale plans and details will take precedence over smaller scale drawings. All dimensions indicated on plan are from face of existing partition to center line of new partition or center line to center line of new partitions unless clear or critical is indicated. 4. Existing Conditions

Contractor shall field verify existing conditions for any unforeseen discrepancies prior to ordering materials, beginning fabrication or starting construction. Notify Designer/Architect and Property Manager/Landlord immediately if any condition will impact the proposed scope defined in these plans.—All-existing conditions throughout Existing Suite to remain, unless otherwise noted Existing conditions include but are not limited to: finishes, millwork, lighting, cabling, plumbing, windows & doors, specially items, etc. Existing conditions are not included in the scope of this project unless specifically noted. Designer is not responsible for any pre-existing conditions/items throughout Existing areas that have not been specifically included in the scope of the project and brought to Designer's attention.

5. Existing Hazardous Materials An Investigation **has not** been performed to determine if hazardous materials, including but not limited to mold and/or asbestos are present within the confines of this project. The presence of any such hazardous materials is not expected. If a questionable material is encountered, stop work in that area immediately and notify the Landlord. Work in that area shall be suspended until this material is identified by an Landlord-employed testing agency.

6. Codes All construction shall comply with national, state and local building codes. During work, Contractor shall comply with 2012-IBC Section 3302 Construction Safeguards, Section 3303 Demolition, and Section 3309 Fire Extinguishers.

7. Document Conflicts If there is a conflict in the drawings, or between the written specs and the drawings, the Contractor shall be responsible for the more expensive of the options.

8. Existing Life Safety Components Verify all existing life safety components throughout Suite (including emergency lights, exit signs, horn/strobe devices, and fire

extinguishers) are in good working condition and meet current jurisdictional codes; provide new as required. 9. Building Policies/Work Regulations Contractor shall have a full understanding of specific policies of the Landlord for completing work on the property. Contractor and SubContractors shall at all times perform work in strict accordance with the Landlord's requirements and all applicable codes,

laws, rules, and regulations having jurisdiction. Contractor shall coordinate with Property Management for specifications of building standard items. Contractor shall contact Landlord or VeenendaalCave with any questions or for definition of Building Standard as noted in these documents. Contractor is responsible for all required building permits and inspections of work. Contractor shall obtain a permanent Certificate of Occupancy prior to Tenant move in. 10. Quality of Work

All work is to be of complete and quality construction free from defects and damage. All materials implied and or described are to be installed according to Manufacturer's specifications. 11. Noise Restriction

Any construction operations that infringe on a Tenant's quiet use of a leased area, or as directed by a Construction/Property

Manager, shall be performed after hours. All doors into the construction areas are to remain closed at all times.

12. Construction Precautions The Contractor shall be responsible for taking adequate precautions to protect building occupants, materials, and existing finishes throughout all phases of construction. Noise, security and dust barriers between construction areas and occupied or public areas shall be maintained by Contractor. All barriers shall comply with 2013 NFPA 241, Safeguarding Construction, Alteration, and Demolition Operations, Section 4.3 - Temporary Structures which requires temporary enclosures (e.g. dust barriers) to be constructed using noncombustible, flame-resistant, etc. materials. The

use of polypropylene plastic or similar combustible materials (plywood, etc.) to enclose demolition work is not permitted by this section. Provide Americover fire retardant 10 mil. reinforced fire rated plastic sheeting PSR 10FR (or app. eq.) secured at ceiling and floor except where used as an ingress/egress to the area of construction. 13. Construction Debris/Clean Up

Debris resulting from demolition/construction shall be removed entirely from the site on a daily basis to a waste area provided by the Contractor. All areas of construction shall be clean, orderly and left in a broom swept condition daily. Contractor shall clean site at end of project—All dust debris, pils stains, fingerprints and labels shall be removed from all finished surfaces. Contractor shall utilize a dumpster service that will recycle construction waste unless not allowed by the local jurisdiction. Contractor shall identify construction haulers and recyclers to handle designated materials shall obtain verification that diverted materials are recycled or salvaged as intended

14. Equipment All appliances and equipment specified in documents shall be provided and installed by the Contractor, unless noted otherwise. Contractor shall provide cut-sheets to Landlord for approval prior to ordering.

Any brand name product specified by Landlord shall not to be substituted without written permission from Landlord. Any substitutions proposed by Contractor shall be submitted to Landlord for approval prior to ordering or fabrication. It is the Contractor's responsibility to research and verify that performance and construction specifications meet those of the originally specified item prior to submission for approval. 16. Long-lead Procurement/Delivery Notice

Contractor acknowledges that Building Standard hardware, finishes, and light fixtures are long-lead procurement, delivery and installation items. Contractor shall schedule order accordingly to ensure timely occupancy. During the bid phase, the Contractor shall note any items known to be long-lead items in their bid as they relate to the schedule. Contractor, upon awarding contracts to SubContractors, shall submit to the Landlord a list of all items and their delivery schedules. The Contractor shall identify all long-lead time items on the project (i.e. materials, fabrics, hardware, carpet, light fixtures, etc.). The Contractor, prior to ordering an item, shall be responsible for notifying VeenendaalCave and the owner of any item which may cause the project to be delayed. 17. Building Core Condition

All Mechanical, Electrical, Telephone, and Janitor Rooms must be put back in the condition they were before any work was completed by the Contractor/SubContractors (including SubContractors hired by Tenant). These areas shall be _cleaned thoroughly, including floors to be swept and mopped_ 18. Abbreviations/Definitions

The following is a list of commonly used abbreviations or phrases and their definitions. a.f.f. - Above Finished Floor; bldg. std. - building standard; Clr - Clear; Eq - Equal; FRT - Fire Retardant Treated; GWB - Gypsum Wall Board; h.m. - hollow metal; Min - Minimum; NIC - Not in Contract; Opp. Hand - Opposite Hand; SAB - Sound Attenuation Blankets; Sim - Similar; TYP - Typical; UNO - Unless Noted Otherwise; VIF - Verify In Field. 19. Racking/Storage - For reference only. All racking/shelving is to be provided and installed by Tenant, alteration the existing fire alarm and fire sprinkler system shall be filed under a separate permit.

F1 - Signage Requirements Install rigid plastic or metal signs on every other rack end. Signage must include:

MAXIMUM STORAGE HEIGHT: LONGITUDINAL FLUE SPACE: TRANSVERSE FLUE SPACE: KEEP FLUE SPACE CLEAR AT ALL TIMES

Signs shall be white in color. Letters on signs shall be a minimum 3"-black letters placed on input end of each run." Signs shall be permanently affixed to racks between 80" to 96" measured from the floor.

F2. Exit Signage - Provide exit tactical signage at all egress door locations. Symbol Legend

Light Fixture - Emergency 2'x4' T5 Fluorescent fixture with acrylic lens Fire Extinguisher - Wall Mounted Exit Sign - Exit Sign (Battery Pack Back-up) & Emergency Light Combo Exit Sign - Exit Sign (Battery Pack Back-up) **Light Fixture -** Emergency Light (Battery Pack Back-up)

Path of Travel and Distance

Symbol - Remote point for travel distance

Stored Commodities: Commodities stored shall be Class IV Commodity (a complete listing of products can be provided by the proposed Tenant if required). There will be no hazardous paints, chemicals or

Exposed Concrete Sealer: All areas with an exposed concrete floor shall be thoroughly cleaned and prepared to receive concrete sealer. Apply (2) coats of Sonneborn "Lapidolith" or Ashford concrete hardener and sealer on any new unsealed development project. Floors that have been previously sealed with acrylic sealer shall be machine scrubbed and resealed with 18% solids seal prior tooccupancy by a new Tenant.

Warehouse Walls: Warehouse walls are to be painted with (2) coat(s) of acrylic flat white pain Adhere to all surface preparation and application requirements per manufacturer's product specification data. Standard of quality shall be PPG/Porter Paints professional best product offering such as PPG Porter Paints Acri Pro 100 Exterior Acrylic House Paint, flat white. Provide and install 1x6 wood base on warehouse side of office/warehouse wall only (painted to match wall).

W1 - Remove portion of existing CMU wall at demising wall for new 10'x10' opening. Refer to Opening Framing Detail 2/1-2

W2 - Remove existing CMU infill at demising wall.

W3 - Existing exposed ceiling structure to be painted/fogged out with acrylic dryfall flat white paint. Adhere to all surface preparation and application requirements per manufacturer's product specification

W4 - Provide and install (4) Frommelt 610 Eliminator II dock shelter/seal; dock seals to be located at all dock leveler locations (or app. eg., confirm locations with landlord, must be mounted per manuf.

W5 - Provide and install Serco or Rite Hite 24" model B410-24 dock bumpers where missing. Anchor to embed dock angle and anchor per manufacturer's instructions. **W6 -** Provide and install warehouse lights per tenant specification througut warehouse; lights to be

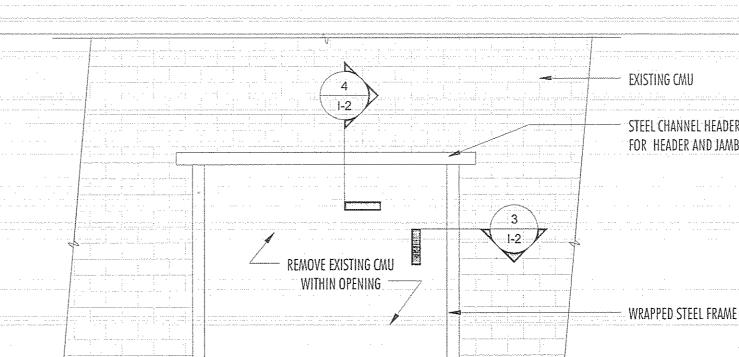
switched from breakers, main panel to be located along exterior wall near side exit door. See

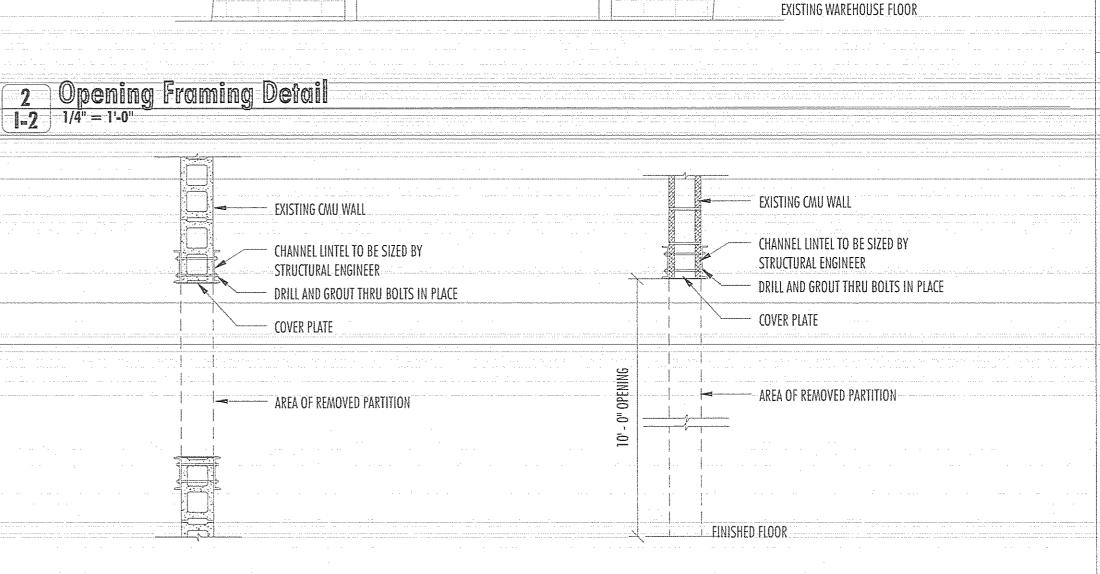
Engineering Drawings. W7 - All racking/shelving is to be provided and installed by Tenant under a separate permit. All required documentation on such racking/shelving including floor plans, dimensions of aisle/clearances, elevations, connection details, anchors, maximum loading capacities and all

provided under a separate permit application. W8 - Notarized affidavit shall be provided by the Tenant or building owner stating that racking/shelving shall NOT be installed without obtaining a permit from the building department.

3 Jamb Defail 1-2 1/4" = 1'-0"

racking/shelving specifications, signed and sealed by a Florida State licensed engineer shall be





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4 Head Defail
1-2 1/4" = 1'-0"

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10/28/16 ISSUED FOR CONSTRUCTION INITIALS/DESCRIPTION

> Digitally signed by Mark S Schroeder DN: C=US, O=NELSON, OU=Georgia, CN=Mark S Schroeder document Date: 2016.10.28

PROJECT NAME

PROFESSIONAL SEA

Parallon

Building 16 Unit I-S

8501 Westside Industrial Dr Jacksonville, FL

Westside Industrial Park

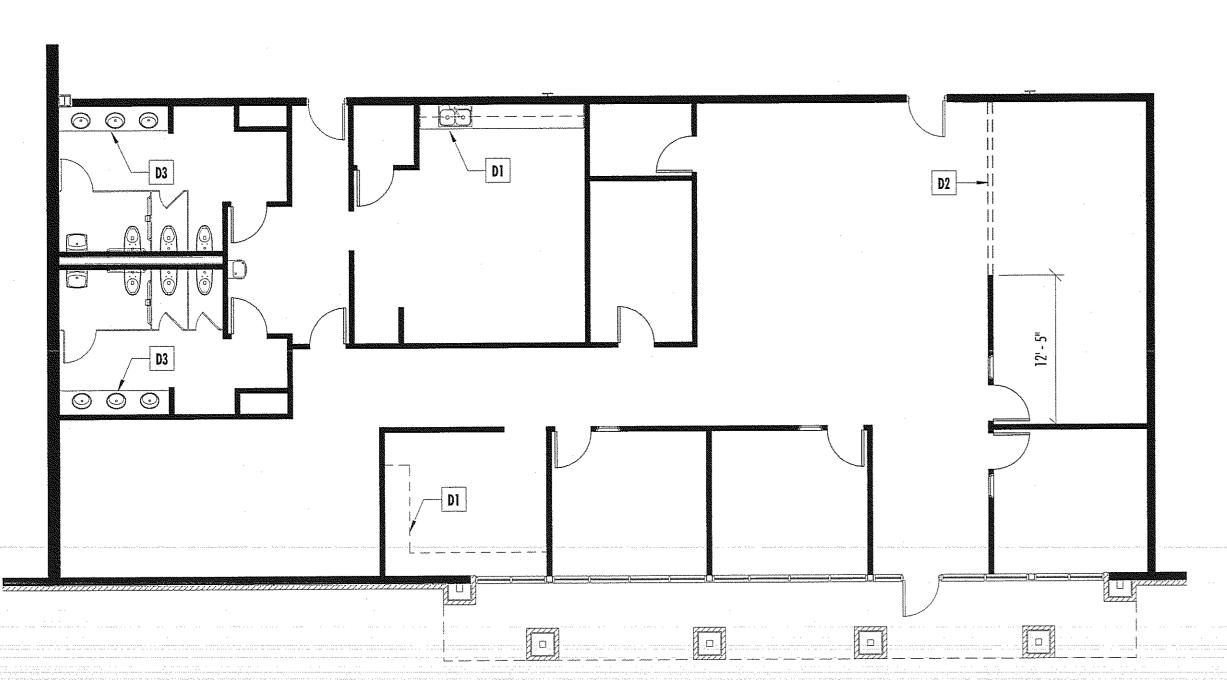
Duval County

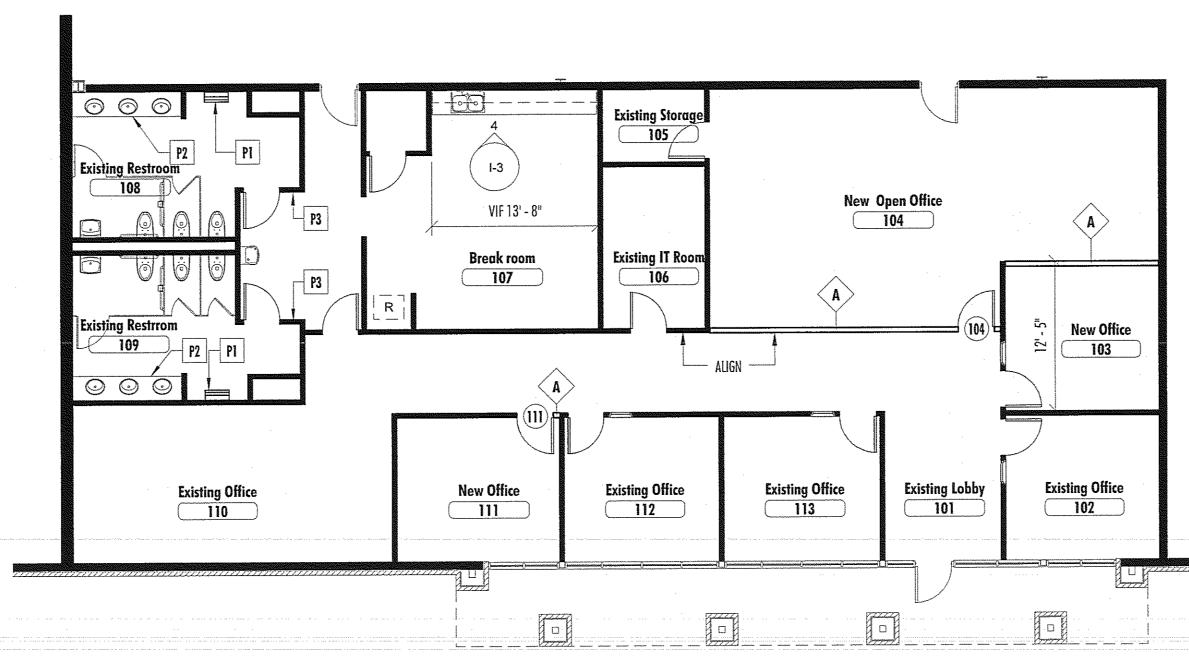
SHEET TITLE Warehouse and Life Safety

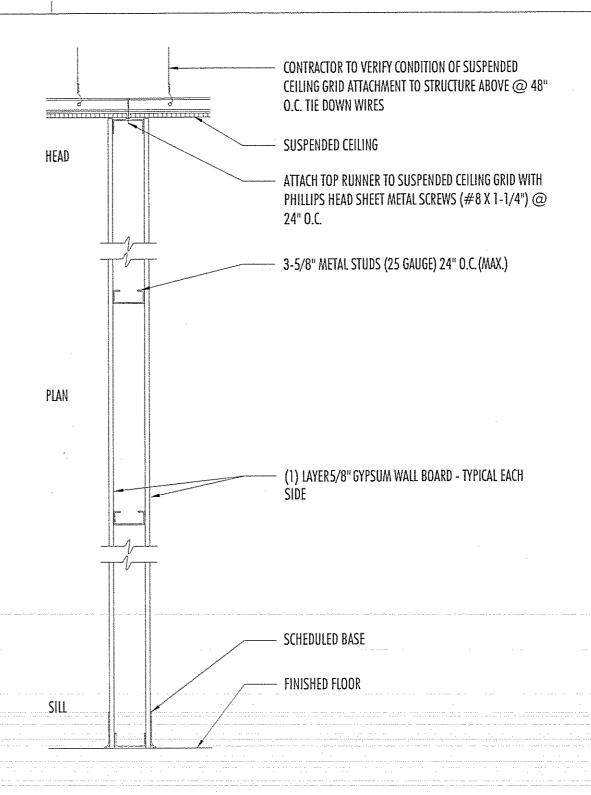
16-814793

JOB NUMBER 105802.1603









Main Office Demolition Plan

Demolition Plan General Notes

1. Extent of Demolition Contractor shall be responsible for any damage to finishes or components not scheduled for demolition. Damaged items shall be replaced or repaired to meet or exceed former conditions. The renovation, demolition, and/or new construction will utilize as much of the existing ceiling grid, lighting fixtures, sprinklers, ceiling tile, ceiling diffusers, ductwork, thermostats, speakers, exit signs, emergency lighting, switches, outlets, cover plates, hardware, blinds, partitions, and the like that will conform and benefit the proposed new Tenant layout unless noted otherwise. 2. Salvage and Storage

Contractor shall exercise care in removal of any components (i.e. doors, frames, fixtures, ceiling tile, copper piping) which may be salvaged for reuse on this or future projects. Contractor shall coordinate appropriate storage locations for such components with the Property Manager. Any excess components not reused on this project are to be turned over to the Landlard for future reuse.

Demolition Plan Key Notes

D1 - Remove millwork as indicated. Cap waterline temporarly for re-use at Breakroom #107.

D2 - Remove partitions as indicated; partitions to be removed in their entirety.

D3 - Remove countertop and sinks. Cap waterline temporarly for re-use.

Partition Plan General Notes

1. Accessibility

We certify that we have prepared these plans in conformity with the Florida Accessibility Coder referencing the 2010 ADA (Americans with Disabilities Act) Standards for Accessible Design for making buildings and facilities accessible to and usable by people with disabilities to the best of our knowledge, information and belief for the scope of the work herein permitted.

2. Field Verification of Dimensions During construction Contractor shall field verify all proposed dimensions on site and notify VeenendaalCave and the Landlord of any discrepancies that will impact the proposed scope defined in these documents prior to ordering materials or beginning fabrication. Contractor shall verify clear dimensions will accommodate Tenant's equipment layout with Tenant's Vendor prior to construction.

3. Gypsum Wall Board Partitions All-gypsum wallboard and metal stud-construction shall be in accordance with recommendations and instructions published by U.S. Gypsum Company's "Gypsum Construction Handbook", latest edition.

4. Fastenings "All fastenings and attachments shall be fully concealed from view."

5. Blocking Contractor shall provide and locate fire-retardant-treated wood blocking in partitions where required to support wall hung components (i.e. standards, shelves, coat rods, tack panels, drapery hardware) asindicated on drawings.

6. Fire-treated Wood Contractor shall provide Flame Retardant Treated (FRT) wood per 2012 IBC, section 603.1 which states: In buildings of Type I or II construction Fire-retardant-treated wood shall be permitted in nonbearing partitions where the required fire resistance rating is 2 hours or less. Type III construction provides that interior building elements are of any material permitted by the code. When painting is required, the contractor shall verify material compatibility and use only paint that does not void warranty of the Flame Retardant Treated (FRT) wood.

Partition Plan Key Notes

Exposed Pipes and Surfaces: Provide and install insulation over hot water pipes and drain pipes (must comply with accessibility standards).

Backflow Prevention Device: If required, a backflow prevention device shall be installed, comply with all applicable parts of 2014 FPC Section 608.

Landlord specifications: Refer to all landlord specifications for all building requirements and specifications

P1 - Provide and install new electric hand dryers as indicated. See Toilet Accessory Schedule.

P2 - Provide and install solid surface countertop and sinks as indicated at existing plumbing locations. See Toilet Accessory Schedule.

P3 - Provide restroom signage in complience with FBC 1011 and FBC ACC. 216.4, 703.1, 703.2 and 703.5.

Partition Schedule

Type A - New interior partition. See detail 3/1-3.

Toilet Accessory Schedule

Dyson Airblade dB14 Gray, surface mounted. Verify with manufacturer for ADA mounting heighs. See Electrical drawings for voltage and amperage specifications.

Restroom Faucet and Sink Touch Free Faucet by Eljer, verify specifications with Landlord. Provide power as necessary.

P Trap - PVC

Breakroom Sink/Faucet Elkay GECR3321-3 Double Bowl SS Sink Delta 400LF-HDF Single Lever Lavatory Faucet Zurn Z8741SS Basket Strainer End Outlet Confinuous Waste - PVC

Finish Plan General Notes

1. Codes Interior wall/ceiling finishes for offices to be Class A, Class B, or Class C, Interior wall/ceiling finishes for exit-access corridors to be Class A or Class B. Interior floor finish in exit-access corridors to be Class I or Class II. Comply with Section 10.2.3.2 below for -wall/ceiling-finishes:-

Class A Interior Wall and Ceiling Finish. Flame spread 0-25; smoke development 0-450. Class B Interior Wall and Ceiling Finish. Flame spread 26-75; smoke development 0-450. Class C Interior Wall and Ceiling Finish. Flame spread 76-200; smoke development 0-450.

2. Preparation for Installation Contractor shall examine conditions concerning substrates and surfaces where finish work is to be performed. All substrates and surfaces to receive finishes shall be free of dirt and debris prior to installation. Both the substrate and surface preparation shall be in accordance with the Manufacturer's Recommendations. Contractor shall examine all surfaces to be finished under this contract and see that the work of their trades has been installed in satisfactory condition to receive paint, stain or specified finish. The application of the first coat of any finish process shall constitute acceptance of the surface.

Upon completion of all finish applications, all materials and equipment shall be removed. Ensure that paint and glue spots are removed and that all areas are left clean and free of dust, dirt or debris. 4. Existing Surfaces Retouch or refinish surfaces damaged by subsequent work. Examine all surfaces to be finished under this contract and see that the work of their trades has been installed in satisfactory condition to receive paint, stain or specified finish. The application of

the first coat of any finish process shall constitute acceptance of the surface. 5. Existing Finishes Where installing new finishes adjacent to existing finishes, materials are to be installed to obscure definitive transitions

between existing and new finishes. 6. Material Packaging/Storage/Installation

Note: Provide verification that the products comply with the requirements.

3. Clean up

Materials shall be delivered in their original cartons or containers as packaged by the manufacturer and bearing the original manufacturer's labels. Contractor will be responsible for receiving and storing such goods. Materials stored on the site shall be protected from damage by moisture, wind, sun, abuse or any other harmful effects. Damaged materials will be rejected and must be replaced. All materials shall be installed and finished according to Manufacturer's Specifications. 7. Carpet Submittals

Contractor shall submit three (3) sets of carpet samples to VeenendaalCave for approval prior to field execution. Contractor shall ensure that carpet supplied for an individual installation be from the same manufacturing run, of uniform color, texture 8. Carpet Installation

All flooring shall be installed as per Manufacturer's Recommendations regarding adhesives, seaming, direction, etc. Carpet installer shall ensure that carpet nap runs in the same direction. Carpet installer shall submit seaming diagrams to designer for approval prior to installation. 9. Carpet Stock

The Contractor shall verify whether or not the Owner would like to store any large usable carpets remnants prior to discarding. Contractor shall provide the Owner a minimum of 10% attic stock on all carpet tiles. 10. Floor Material Transitions All floor material transitions at door, including carpet to carpet, shall occur directly under line of closed door. Contractor shall

provide rubber transition strips between carpet and VCT or sealed concrete to match rubber base (UNO). Transition between carpet or other surface, and tile or other hard surfaces to be as specified on drawings. Contractor shall use 4" cove base, unless noted otherwise. Base material shall be installed flush to floor surface unless otherwise

noted. All base at corners to be pre-molded, not wrapped. Submit 8" x 10" paint samples to designer for approval prior to field execution. Provide (1 gallon maximum) of each color clearly labeled with color name and finish key "P-#" with Owner for future touch-up needs.

Finish Plan Key Notes

Office Finishes: Unless noted otherwise, expansion area office finishes (carpet, paint, VCT, base) to match those of existing office area

Finish Legend

PL-1 Plastic Laminate -Manutacturer:-Wilsonart-or-equal-(www.wilsonart.com)-Style: TBD Color: TBD

---PL-2-Plastic-Laminate--Manufacturer: Wilsonart or equal (www.wilsonart.com) Style: TBD

Coordiante with Landlord. SS-1 Solid Surface Manufacturer: TBD

Coordiante with Landlord.

Color: TBD

Style: TBD Color: TBD Coordiante with Landlord.

2 Office Partition Plan 1-3 1/8" = 1'-0"

and the same of th	Door Schedule										
Room N	umber Door Ty	pe Width	Height	Material	Finish	Frame	Function		Notes		
r 104	A .	3' - 0"	7' - 0"	Solid Core Wood	Paint	Hollow Metal	Classroom	1, 2, 3			
111	A	3'-0"	7'-0"	Solid Core Wood			Classroom				

(SS-1)

Door Hardware:

Hollow Metal Door:

Door: 18 gauge, core to have vertical steel stiffeners, 1-3/4" thickness, sizes as noted on the plans Frame: pressed metal, 16 gauge, mitered corners, silencers knock-down frames at sheetrock walls welded frames at masonry walls

Solid Core Wood Door:

Doors: Mohawk Premium 2000, 1-3/4" thickness, flush panel solid core wood, Rotary Birch Select White, factory pre-finished in-Teak-or-Mahogany-(match-existing),-www.mohawkdoors.com-Frame: pressed metal, 16 gauge, mitered corners, silencers knock-down frames at sheetrock walls

welded frames at masonry walls Approved manufacturers: Ceco Door Products, Republic Builders Products Division

Finish Hardware:

Interior Lockset Hager 3500 Series Lever, Series 4000 Grade 2, US26D finish, www.hagerco.com Schlage AL-Series Standard Duty Commercial lockset, Neptune Series, 626 (US26D) finish, Series 4000 Grade-2, - www.schlage.com Keyway is to Schlage SC1/5 pin.

Hager surface mount door closer, 5300 Series, Grade 1, aluminum painted finish LCN surface mount door claser, 1371 Series, Grade 1, powder coat finish Norton aluminum storefront door closer, 1600BC/1601 Series, Grade 1, aluminum or statuary bronze finish to match storefront system, www.nortondoorcontrols.com

McKinney Assa Abloy, full mortise steel hinges, five knuckle, ball bearing, standard weight series, MPB79, US26D ger Series BB1279, full mortise hinges, five-knuckle, ball-bearing, standard weight, US26D finish (doors with closers) Hager Series PB1279, full mortise hinges, five-knuckle, plain-bearing, standard weight, US26D finish (doors without closers)

Door Types

A Flush Panel

Door Components

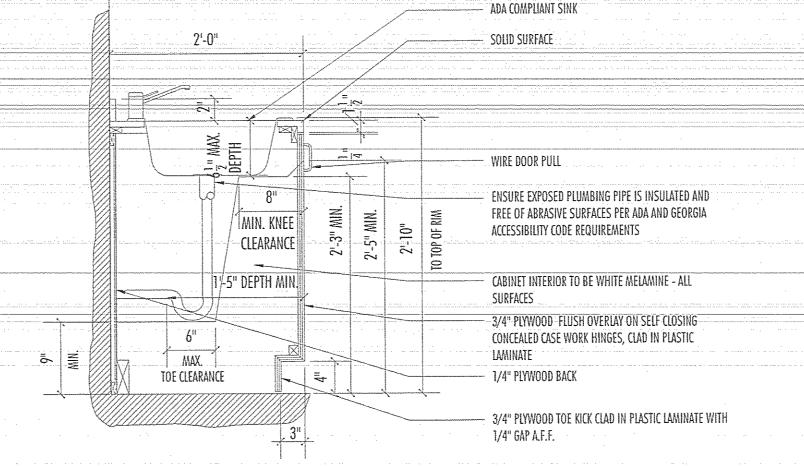
Wall/Floor Sto

Lockset Functions

For classroom, office or utility room; outside lever locked by key; inside lever always

Symbol Legend

Partition - Existing to Remain Partition - New Partition Wall to be demolished Partition - New Partition Wall **Door** - New Construction Key - Note Key - Door Type (A)— Key - Partition Type



13' - 8"

VERIFY IN FIELD

+ | - | - |

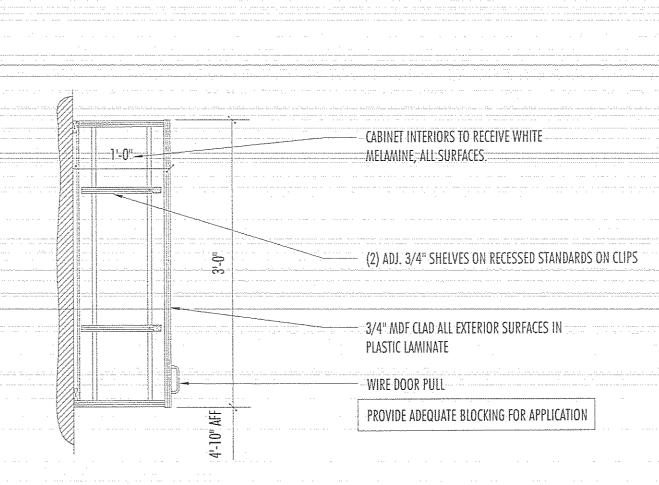
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6 I-3

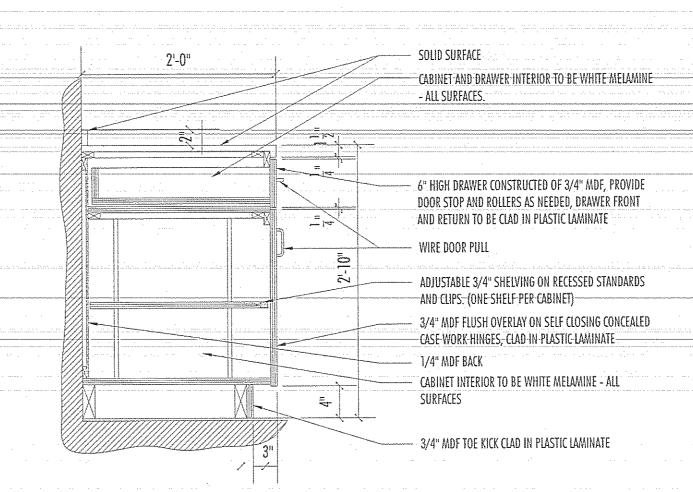
4 Elevation - Break Millwork
1-3 1/2" = 1'-0"

CLEAR

6 Section - Base Cabinet with Sink



5 Section - Upper Cabinet



7 Section - Base Cabinet

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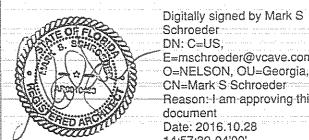
1170 Peachtree St. N.E Atlanta, Georgia 30309

404.881.1811 vcave.com Interior Design • Space Planning

INITIALS/DESCRIPTION 10/28/16 ISSUED FOR CONSTRUCTION

DRAWING ISSUE RECORD

PROFESSIONAL SEAT



O=NELSON, OU=Georgia, CN=Mark S Schroeder Reason:-I-am-approving-thi document. Date: 2016.10.28

E=mschroeder@vcave.con

PROJECT NAME

Parallon

Building 16 Unit I-S

8501 Westside Industrial Di Jacksonville, FL

Westside Industrial Park

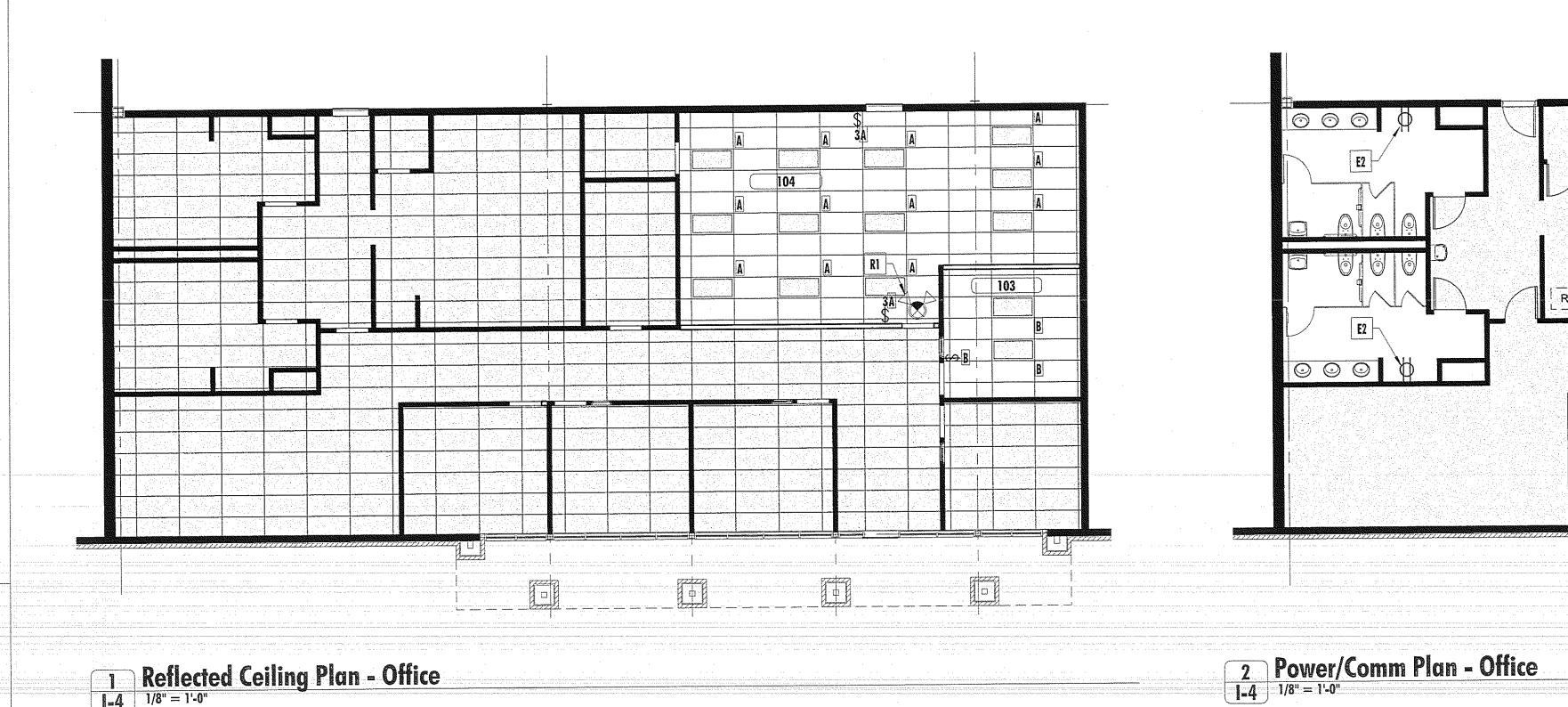
Duval County SHEET TITLE

Demolition and Partition Plan and Finish Schedule

4-814793

JOB NUMBER

105802.1603 SHEET NUMBER



General Reflected Ceiling Plan Notes

1. Engineering
The reflected ceiling plan represents fixture location, type, and switching functions only shall not be utilized as an engineering document. All required engineering shall be provided by a state licensed engineer, and shall be provided on a design-build basis. All required design-build engineering shall be the responsibility of the Contractor. Refer to engineering documents for circuiting and loads. 2. Location and Field Verification

The Contractor shall be responsible for field verification of ductwork, plumbing lines and sprinkler lines to ensure installation of light fixtures shown are feasible. Contractor shall notify VeenendaalCave of any obstructions prohibiting light fixtures from being located as shown on the Reflected Ceiling Plan prior to submitting bid. Direction shall be obtained from VeenendaalCave for the revised fixture location. 4. Sprinkler Drawings

Exact sprinkler locations shall be determined by a state licensed Sprinkler Contractor to comply with local building and fire codes. Revise existing sprinkler layout to meet NFPA #13. Sprinkler system is to be electronically monitored offsite. Provide an annual sprinkler system test certificate at the time of final inspection. Sprinkler plans shall be submitted for all new or renovated systems with the following exceptions: (1) All renovated systems relocating 20 sprinkler heads or less. (2) All renovated systems adding 6 sprinkler heads or less.

Contractor shall submit locations of air supply diffusers and return air grills to designer for approval prior to

6. Switches

Contractor shall locate light switch face plates @ maximum 6" from door frame or corner of partition and 48" a.f.f. to the top of the highest-mounted control of the device. Contractor shall gang together two or more light switches in the same location with a common face plate. Contractor to notify Designer if this is not feasible PRIOR to Owner "move-in". All switch faceplates shall match building standard. Electrical Engineer to provide motion sensor switches or timers to comply with ASHRAE Standard 90.1 for all lighting

7. Thermostats

Contractor shall submit thermostat locations to designer for approval prior to installation. Contractor shall place thermostat in horizontal alignment with switches; max. mounting height 48" a.f.f. to the highest mounted control on the device. 8. Clean up

Contractor shall ensure that lenses in lighting fixtures are left clean and free of dust, dirt, and smudges.

Plastic and labels shall be removed from all light fixtures at project completion.

Reflected Ceiling Plan Key Notes

Existing Fixtures: All office fixture are existing to remain. Existing light fixtures are to remain throughout. Re-lamp and re-ballast existing light fixtures as necessary, field verify existing lenses and replace if damaged. Re-circuit existing light fixtures as necessary according to proposed floor plan.

Re-switch: Re-switch all existing and relocated light fixtures to accommodate new partition layout.—Verify all existing switching is in good working order; provide new as necessary.

Existing Ceiling Grid: Existing continuous ceiling grid to remain throughout (unless otherwise noted).

Diffusers/Returns: Relocated existing ceiling supplies, diffusers and programmable thermostats as needed, throughout

R1 - Provide and install new emergency fixture as indicated. See Life Safety Plan 1/1-2.

R2 - Provide and install sprinkler coverage throughout office space and warehouse. Fire sprinkler heads to be chrome with chrome escutcheans, semi-recessed, centered in one direction min. on the ceiling tiles in office area. All sprinkler design and installation is to be provided by licensed sprinkler Contractor and must comply to all National, State and Local Power/Communication Plan General Notes

The power/communication plan represents outlet locations only and shall not be utilized as an engineering document. All required engineering shall be provided by a state licensed engineer, and shall be provided on a design-build basis. All required design-build engineering shall be the responsibility of the Contractor.

2. Codes

Contractor shall comply with 2014 National Electrical Code, 2014 Florida Building Code and all other applicable state and local

3. Dimensions All dimensions shown are from center line of box. Receptacles shall be 18" on center above finished floor, unless otherwise

noted. Wall receptacles shown back to back may be offset, but shall be installed directly adjacent to one another. 4. Receptacles

All isolated ground power receptacles shall be orange for easy recognition.

5. Faceplates
All outlet faceplates (power and voice/data) shall match throughout and shall match existing to remain (UNO). When new outlets and faceplates are noted to be installed throughout, they shall be building standard. Two or more adjacent power or communication outlets shall be ganged with a common faceplate. If they cannot be ganged they shall be installed with a minimum distance between units.

All wiring/cabling that runs through other Owner Suites or Common Corridor in plenum above ceiling or below slab shall be run in conduit and labeled with Owner's name and suite number. 7. Electrical Outlets

All standard electrical outlet devices shall match throughout and new shall match existing to remain (UNO). When new electrical outlet devices are noted to be installed throughout, they shall be building standard. Any dedicated power outlets shall be gray for easy recognition. Any outlets fied to Owner UPS shall be red for easy recognition. Stagger electrical outlets minimum 12" at any sound partitions. 8. Electrical Panels

All electrical panels to have proper typed schedules installed. Hand written schedules will not be accepted.

Power/Communication Plan Key Notes

E1 - All outlet boxes for wall switches, wall receptacles, telephone, etc. shall be galvanized steel or cast type boxes. E2 - Provide and install electrical outlet as indicated to accompdate power for hand dryer. See Engineers drawings.

E3 - Final determination of use classification may be made by the authority having jurisdiction. Upon final determination of use classification a fire alarm may be required, and if required, is to be provided by the Owner. Fire alarm and all fire alarm components to be designed by a licensed fire alarm Contractor. Provide and install fire alarm system according to all applicable codes. Note: any audible alarms and visual strobes shown on this plan are for configuration purposes only, additional devices may be required.

Symbol Legend

Pl

Exit Sign - Exit Sign

3 - 3 way switching

Existing Light Fixture - 2'x4' T5 Fluorescent fixture with acrylic lens

Key - Note

Switch - Default: Single Pole

Power Receptacle - Duplex

A - Circuit

PROFESSIONAL SEAL

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Stone Mountain, Georgia 30083

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Interior Design • Space Planning

DATE INITIALS/DESCRIP
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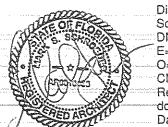
DRAWING ISSUE RECORD

INITIALS/DESCRIPTION

404.881.1811

Suite 1700

vcave.com



Digitally signed by Mark S Schroeder DN: C=US, E=mschroeder@vcave.cor
O=NELSON, OU=Georgia
CN=Mark S Schroeder Reason: I am approving th

Parallon

PROJECT NAME

Building 16 Unit I-S

8501 Westside Industrial Dr Jacksonville, FL

Westside Industrial Park

Duval County

SHEET TITLE Reflected Ceiling and Power/Comm Plans

JOB NUMBER 105802.1603

HVAC	LEGEND:				AIRFLOW — SUPPLY AIRFLOW — RETURN, EXHAUST OR TRANSFER
	SUPPLY AIR GRILLES (DUCT SIDE AND BOTTOM)	V Z	EXISTING DUCTWORK	<u> </u>	DUCT LINER (FOR SOUND ATTENUATION)
	SUPPLY AIR DIFFUSER WITH FLEX DUCT		EXISTING EQUIPMENT		FLEXIBLE CONNECTION
	AND BELLMOUTH SPIN-IN WITH MANUAL DAMPER		SECTION THROUGH RETURN OR EXHAUST DUCTWORK		MOTOR OPERATED DAMPER
	RETURN OR EXHAUST AIR GRILLES (DUCT SIDE AND BOTTOM)		SECTION THROUGH SUPPLY DUCTWORK		FIRE SUPPRESSION DAMPER
	RETURN AIR GRILLE (OPEN TO PLENUM)		DUCT ELBOW (WITH TURNING VANES) DUCT TEE		FIRE DAMPER AND ACCESS DOOR
	RETURN OR EXHAUST AIR GRILLE (SHOWN WITH DUCT)		(WITH DIVIDER AND TURNING VANES)		MANUAL VOLUME DAMPER
\ \ \ \ \ \ 24/12 \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	RECTANGULAR DUCT		ROUND ELECTRONIC CONTROL-DAMPER		SPLITTER DAMPER
	(24" WIDE BY 12" DEEP)				THERMOSTAT
8"\$	ROUND DUCT(8"-DIAMETER)			6"DIA. C 145 CFM	DIFFUSER AND GRILLE - DESIGNATION (NEGK SIZE, DIFFUSER C, 145 CFM)

					RO!	OFTOP	HVA			TLVV				
ITEM	CFM	ESP	OA	FAN HP	COOLING		HEATING (GAS)		ELECTRICAL		WEIGHT	MANUFACTURER	NOTES	
		A COUNTY OF THE PARTY OF T			TOTAL CAP MBH	SENS CAP MBH	INPUT MBH	STAGES	VOLT/Ø	MCA	моср	de la constante de la constant	AND MODEL NUMBER	A PARAMETER TO THE PARA
RTH-1	8.000	0.5	750	5	241.0	. 187.2	220.0	2	480/3	48.0	60.0	2,800	CARRIER 48TCDD24D1	1,2,3
RTU-2	8,000	0.5	750	5	241.0	187.2	220.0	2	480/3	48.0	60.0	2,800	CARRIER 48TCDD24D1	1,2,3

CONTROLS & OPERATION

THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL CONTROL WIRING IN CONDUIT.

THERMOSTATS AT 48" ABOVE FINISHED FLOOR IN LOCATIONS AS SHOWN.

TESTING, ADJUSTING, BALANCING

- MECHANICAL- CONTRACTOR -SHALL PROVIDE -ALL-THERMOSTATS - UNLESS - NOTED

MECHANICAL CONTRACTOR-OR AN INDEPENDENT NEBB-OR AABC CERTIFIED-AIR

TAUTOMATIC CONTROLS SYSTEM AND VERIFY SET POINTS DURING BALANCING.

SUBMIT TWO (2) COPIES OF THE BALANCE REPORT TO THE ENGINEER FOR

ENGINEER WITH APPLICATION FOR FINAL CONTRACT PAYMENT.

APPROVAL, INCLUDE A COPY OF THE BALANCE REPORT AS APPROVED BY THE

"BALANCE" CONTRACTOR: SHALL "ACCURATELY "BALANCE THE AIR SYSTEMS" TO PROVIDE

AIR QUALITIES INDICATED ON THE DRAWINGS AND IN THIS SPECIFICATION. OPERATE

TESTING, ADJUSTING & BALANCING

PRACTICE FOR ACHIEVING AIR TIGHT (LESS THAN 5% LEAKAGE) AND NOISELESS (NO SWITCHING SUBBASE FOR INSTALLATION BY THE MECHANICAL CONTRACTOR ONE

OBJECTIONABLE NOISE) SYSTEMS, CAPABLE OF PERFORMING EACH INDICATED SERVICE. THERMOSTAT SHALL BE PROVIDED FOR EACH AIR CONDITIONING SYSTEM. MOUNT

-NECESSARY FOR THE COMPLETE AND PROPER OPERATING TEMPERATURE CONTROL

1. STANDARD EFFICIENCY PACKAGED AC UNIT COMPLETE WITH DX COULING CUIL, CURB, & RETURN AIR AND SUPPLY AIR SMOKE DETECTORS.

2. PROVIDE VERTICAL AIRFLOW CONFIGURATION. 3. FIXED OA CAPABILITY IRRESPECTIVE OF SUPPLY AIR CFM.

1. COLOR TO BE SELECTED BY ARCHITECT.

			JSEK,	GKILL	_E · &	KEG	(15 LK)	SCHEDU		
ITEM	TYPE	SERVICE	FRAME	CFM	PD WC	MAX NC	DAMPER OPERATOR	FACE SIZE	MANUFACTURER AND MODEL NUMBER	NOTES
A	DRUM LOUVER	SUPPLY	FLANGE	NOTED	0.10	30	OBD	40×10	TITUS DL	1
R	EGGCRATE GRILLE	RETURN	FLANGE	NOTED	0.10	30		42×42	TITUS 350ZRL	1,2
- ,	EGGCRATE GRILLE	RETURN	LAY-IN	-NOTED-	0:10	20	A 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	24×24	-TITUS-50R	1,2

- NATURAL GAS CONNECTION TO ROOFTOP UNIT CONTROL WIRING - WIRING TO POWER SUPPLY RETURN AIR DUCT ---ECONOMIZER HOOD ---

GAS-FIRED ROOFTOP A/C UNIT DETAIL

THE INTENT OF THE SPECIFICATION AND THE DRAWINGS IS TO PROVIDE A. -CONTRACTOR-SHALL-FURNISH-AND INSTALL ALL LABOR, MATERIAL AND EQUIPMENT. NECESSARY TO COMPLETE THE MECHANICAE WORK SITE EXAMINATION THE MECHANICAL CONTRACTOR SHALL THOROUGHLY EXAMINE ALL AREAS WHERE EQUIPMENT, DUCTWORK, AND PIPING WILL BE INSTALLED AND WILL REPORT ANY CONDITION THAT IN HIS OPINION, PREVENTS THE PROPER INSTALLATION OF THE

EQUIPMENT AND MATERIALS SHALL CONFORM WITH APPROPRIATE PROVISIONS OF - - - OWNER FILTERS TO BE FARR, OR SIMILAR. ARL. ASME. ASTM, UL, NEMA, ANSI, SMACNA, ASHRAE, NFPA, AS APPLICABLE TO PEACH INDIVIDUAL FUNIT OR ASSEMBLY: ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE

STATE AND LOCAL CODES AND ORDINANCES. IN CASE OF CONFLICT BETWEEN THE DRAWINGS/SPECIFICATIONS AND THE CODES AND ORDINANCES, THE HIGHEST STANDARD SHALL APPLY. THE MECHANICAL CONTRACTOR SHALL SATISFY CODE REQUIREMENTS AS A MINIMUM STANDARD WITHOUT ANY EXTRA COST TO THE THE MECHANICAL CONTRACTOR SHALL PROCURE AND PAY FOR ALL PERMITS, FEES

AND INSPECTIONS NECESSARY TO COMPLETE THE MECHANICAL WORK. THE MECHANICAL CONTRACTOR SHALL UNCONDITIONALLY WARRANT ALL WORK TO BE FREE OF DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER AND WILL REPAIR OR

ANY OTHER EXISTING WORK DAMAGED IN THE COURSE OF REPAIRING DEFECTIVE

MATERIALS AND WORKMANSHIP

AIR HANDLING EOUIPMENT & MATERIALS INSTACL NEW ROOFTOP HVAC UNITS WITH GAS HEATERS AS SHOWN AND NOTED -- ALL DUCTWORK TO BE RIGID SHEETMETAL CONSTRUCTED FROM GALVANIZED SHEET. ON THE DRAWINGS. INSTALL NEW UNITS WITH PERFORMANCE REQUIREMENTS AS STEEL IN ACCORDANCE WITH SMACHA LOW VELOCITY DUCT CONSTRUCTION SCHEDULED. PROVIDE ALL ACCESSORIES AND OTHER COMPONENTS REQUIRED STANDARDS. ALL EXPOSED DUCTWORK TO BE ROUND; SPIRAL, OR RECTANGULAR SYSTEM.

FOR A COMPLETE AND OPERATIONAL INSTALLATION, ACJUST SYSTEM OPERATION LOCK—SEAM TYPE, AS SHOWN ON HVAC PLAN SHEETS. TO MEST THE PERFORMANCE REQUIREMENTS SHOWN ON THE DRA PROVIDE COMPLETE CONTROLS PACKAGE INCLUDING, BUT NOT LIMITED TO, NEW ASSEMBLE AND INSTALL DUCTWORK IN ACCORDANCE WITH RECOGNIZED INDUST ELECTRONIC PROGRAMMABLE THERMOSTAT.

PROVIDE THREE (3) SETS OF 1" THICK, PLEATED DISPOSABLE FILTERS. USE AND OTHER ACCESSORIES NECESSARY FOR A COMPLETE OPERATING SYSTEM, MOONE SET UNTIL COMPLETION OF CONSTRUCTION. INSTALL ONE SET AT. VARIATION OF DUCT CONFIGURATION OR SIZES WILL BE PERMITTED EXCEPT BY

COMPLETION OF CONSTRUCTION AND DELIVER THREE SETS OF FILTERS TO THE PERMISSION FROM THE ENGINEER. DUCT SEALANT SEAL ALL LONGITUDINAL AND TRANSVERSE JOINTS WITH A NON-HARDENING, -NON-MIGRATING MASTIC OR LIQUID ELASTIC SEALANT OF A TYPE RECOMMENDED BY THE MANUFACTURER FOR SEALING JOINTS AND SEAMS IN SHEET METAL DUCTWORK. COVER TALL FIELD JOINTS, JOINTS AROUND SPIN IN EITHINGS AND FASTENING SCREWS WITH MASTIC SUPPORTS PROVIDE HOT-DIPPED GALVANIZED STEEL, FASTENERS, ANCHORS, RODS, STRAPS, TRIM, AND ANGLES FOR SUPPORT OF DUCTWORK.

> INDICATED ON DRAWINGS AND AT POINTS ON LOW PRESSURE SUPPLY, RETURN AND EXHAUST DUCTS WHERE BRANCHES ARE TAKEN FROM LARGER DUCTS. PROVIDE UL LISTED FIRE DAMPERS WHERE REQUIRED AND IN ACCORDANCE WITH -NFPA-AND-LOCAL-CODES--PROVIDE-CONVENIENTLY_LOCATED_ACCESS_DOORS_OF._ AMPLE SIZE AND QUANTITY FOR SERVICING THE DAMPERS. GRILLES. REGISTERS & DIFFUSERS GRILLES REGISTERS AND DIFFUSERS SHALL BE TITUS MODELS AS SCHEDULED, OR "APPROVED EQUIVALENT, AND SHALL BE FURNISHED BY THE MECHANICAL" CONTRACTOR DIFFUSERS SHALL BE INSTALLED AS INDICATED ON THE DRAWINGS MISCELLANEOUS ITEMS NECESSARY FOR A COMPLETE AND PROPER INSTALLATION

SHEETMETAL DUCTWORK

PROVIDE EXTERNAL THERMAL INSULATION WITH AN INTEGRAL VAPOR BARRIER FACING OF SUFFICIENT THICKNESS TO MEET LOCAL ENERGY CODE REQUIREMENTS.

PROVIDE INSULATION ON EXHAUST AND OUTSIDE AIR DUCTS, AND ON CONCEALED PORTIONS OF SUPPLY AND RETURN AIR DUCTS, DO NOT INSULATE EXPOSED DUCTWORK AND PORTIONS OF DUCTWORK THAT ARE INTERNALLY LINED. THERMAL INSULATION SHALL COMPLY WITH AN NFPA FLAME SPREAD OF 25 OR LESS, AND SMOKE DEVELOPED RATING NO GREATER THAN 50.

THE TYPE OF CEILING AND WALLS USED IN THIS PROJECT.

PROVIDE OPPOSED-BLADE, MULTI-LEAF VOLUME CONTROL DAMPERS WHERE

DUCTWORK & ACCESSORIES

FURNISH ALL REQUIRED DAMPERS, TRANSITIONS, CONNECTIONS TO AIR TERMINALS.

UNLESS OTHERWISE INDICATED ON THE PLANS, PROVIDE 1" GLASS FIBER ACOUSTICAL DUCT LINER ON SUPPLY AND RETURN DUCTWORK WITHIN TO FEET OF THE DISCHARGE AND INTAKE OF AIR HANDLING UNITS. DUCT DIMENSIONS SHOWN ON DRAWINGS ARE INSIDE CLEAR

COMcheck Software Version 4.0.4.1

Project Information Energy Code: Project Title: - Location: -

Climate Zone:

Project Type:

Parallon Warehouse Expansion Jacksonville, Florida

Construction Site: 8501 Westside Industrial Dr Building 16, Unit I-S Jacksonville, FL 32219

Mechanical Systems List

Quantity System Type & Description 1 RTU-1 (Single Zone): Heating: 1 each - Other, Gas, Capacity = 220000 kBtu/h No minimum efficiency requirement applies Proposed Efficiency = 10.80 EER, Required Efficiency = 9.50 EER

> FAN 1 Supply, Constant Volume, 8000 CFM, 5.0 motor nameplate hp RTU-2 (Single Zone): Heating: 1 each - Other, Gas, Capacity = 220000 kBtu/h No minimum efficiency requirement applies

Fan System: FAN SYSTEM 1 | RTU's - Compliance (Motor nameplate HP method) : Passes

designed to meet the 2014 Florida Building Code, Energy Conservation requirements in COMcheck Version 4.0.4.1 and to comply

Mechanical Compliance Statement specifications, and other calculations submitted with this permit application. The proposed mechanical systems have been

with any applicable mandatory requirements listed in the Inspection Checklist.

Mechanical Compliance Certificate 2014 Florida Building Code, Energy Conservation

> Designer/Contractor: Owner/Agent: Patillo Industrial Real Estate Christopher A. Horner 1634 Afton Lane 5830 E Ponce de Leon Ave Brookhaven, GA 30329 Stone Mountain, GA 30083 678-575-0055

Cooling: 1 each - Single Package DX Unit, Capacity = 241000 kBtu/h, Air-Cooled Condenser, Air Economizer Fan System: FAN SYSTEM 1 | RTU's - Compliance (Motor nameplate HP method) : Passes Cooling: 1 each - Single Package DX Unit, Capacity = 241000 kBtu/h, Air-Cooled Condenser, Air Economizer Proposed Efficiency = 10.80 EER, Required Efficiency = 9.50 EER

FAN 1 Supply, Constant Volume, 8000 CFM, 5.0 motor nameplate hp PLAN REVIEW AND ISSUING CONTACTOR OF COMPLYING Compliance Statement: The proposed mechanical design represented in this document is consistent with the building plans, -WITH ALL CODES

BUILDING PLANS EXAMINER
REVIEWED FOR Parallon CODE COMPLIANCE

KEEP THIS PLAN ON JOB

NOV 2 9 2016

OF PERMIT DOES NOT RELEIVE

Building 16 Unit I-S

Industrial Park

SHEET TITLE

SPECIFICATIONS

116-814793

JOB NUMBER 105802.1603

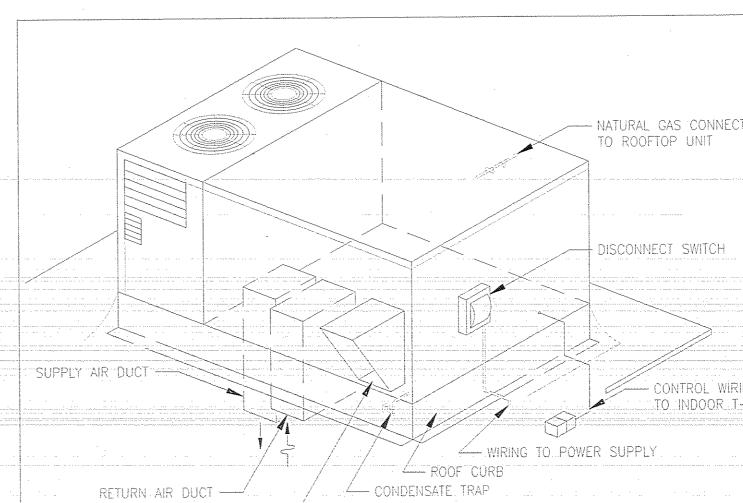
ISSUED FOR CONSTRUCTION

1634 Afton Lane Brookhaven, GA 30329 (678) 575-0055

Christopher A. Horner

Engineer

F.L. REG. # 80745



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Stone Mountain, Georgia 30083

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vcave.com Space Planning DRAWING ISSUE RECORD

> INITIALS/DESCRIPTION - ISSUED FOR CONSTRUCTION

PROFESSIONAL SEAL

PROJECT NAME

8501 Westside Industrial Dr

Westside

Duval County

MECHANICAL LEGEND, SCHEDULES, &

GENERAL NOTES DRAWINGS-ARE DIAGRAMMATIC IN NATURE AND MAY NOT SHOW ALL STRUCTURA MEMBERS, ARCHITECTURAL ELEMENTS. LIGHTING LAYOUTS, OR ALL OFFSETS, FITTINGS, AND OTHER ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. -CONTRACTOR_SHALL_PROVIDE_ALL_LABOR, MATERIALS, AND ACCESSORIES REQUIRED FOR THE INSTALLATION OF A COMPLETE WORKING SYSTEM TO THE SATISFACTION OF THE OWNER. COORDINATE THE MECHANICAL WORK WITH THE WORK OF OTHER TRADES AND EXISTING CONDITIONS. 3. COMPLY WITH ALL LOCAL CODES AND ORDINANCES. 4. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF WORK AND INFORM ARCHITECT/ENGINEER OF ANY DISCREPANCIES. 5. CONNECT DUCTWORK TO HVAC UNITS IN LOCATIONS SHOWN AND IN ACCORDANCE WITH UNIT MANUFACTURER'S INSTALLATION INSTRUCTIONS. LOCATE UNIT TO INSURE ADEQUATE SERVICE CLEARANCES PER MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH CODE REQUIREMENTS. 6. INSTALL NEW DUCTWORK AS SHOWN, ALL SHEET METAL DUCTWORK SHALL BE CONSTRUCTION STANDARDS, DUCTWORK SHALL BE FABRICATED IN ACCORDANCE WITH REQUIREMENTS OF THE 1 III. WG PRESSURE CLASSIFICATION. U -7: - ALL OUTSIDE AIR DUCTWORK AND ALL BUCTWORK INSTALLED ABOVE INSULATED... <u>CEIDINGS-SHALE-BE-INSULATED-WITH-2"-THICK-FIBERGLASS-DUGTWRAP-INSULAT</u> WITH VAPOR BARRIER COATING. INSTALLATION SHALL BE COMPLETE FOR ALL DUCTWORK SYSTEMS UNLESS SPECIFICALLY EXCLUDED. INSULATION INSTALLATION -SHALL BE IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE SUCH THAT ALL VAPOR BARRIERS SHALL BE SECURE AND NO LOOSE JOINTS OR PATCHES EXIST IN THE FINISHED PRODUCT. -8:--NOTEEXIBLE DUCT SHALL BE UTILIZED IN RETURN AIR OUTSIDE AIR OR EXHAUST ----AIR SYSTEMS. MAXIMUM LENGTH OF FLEXIBLE DUCT. IN SURPLY AIR SYSTEM..... SHALL NOT EXCEED MER'S RECOMMENDATIONS. 9. PROVIDE SINGLE BLADE DAMPER AND SPIN-IN FITTING AT TAKE-OFFS FOR --SUPPLY-AIR-SYSTEMS. O. AFTER COMPLETION OF NEW MECHANICAL SYSTEMS INSTALLATION, ADJUST ALL THERMOSTATS AND AIR HANDLING UNITS TO ATTAIN THE PERFORMANCE VALUES SCHEDULED. TEST, ADJUST AND BALANCE ALL AIR OUTLET DEVICES TO CFM VALUES SHOWN WITHOUT CREATING OBJECTIONABLE NOISE OR DRAFTS, PRIOR TO FINAL PROJECT CLOSE—OUT, SUBMIT FOUR COPIES OF FINAL TEST AND BALANCE

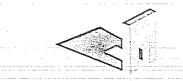
REPORT TO ARCHITECT AND ENGINEER FOR RECORD. KEY NOTES: (T) EXISTING 20-TON RTU TO REMAIN AS-IS. CONNECT WITH FABRIC FLEXIBLE CONNECTOR, EXTEND DROP BOX BELOW RETURN GRIELE ELEVATION: WITH EABRIC FLEXIBLE CONNECTOR. (4) RETURN GRILLE BELOW. -(6)-CONNECT_NEW-34" NG-TO: EXISTING:1" NG-ON-ROOF - ... (7) EXISTING 6-TON RTU TO REMAIN AS-IS. (8) EXISTING DISTRIBUTION DUCTWORK IN THIS AREA TO REMAIN AS-IS. (9) EXISTING 10x12 RETURN DUCT-ABOVE CEILING, CONTRACTOR TO VERIFY LOCATION. (12) EXISTING RESTROOM EXHAUST TO REMAIN AS-IS. (13) EXISTING CLOSET EXHAUST TO REMAIN AS-IS. MECHANICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"

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PROJECT DESIGN TEAM

veenendaal**cave**

1170 Peachtree St. N.E. -Atlanta, Georgia 30309 404.881.1811 vcave.com

--Interior Design • Space Planning DRAWING ISSUE RECORD

INITIALS/DESCRIPTION 10/28/2016 ISSUED FOR CONSTRUCTION

PROFESSIONAL SEAL

(3)-28x28 RETURN-DUCT UP TO RTU-INLET, TRANSITION TO UNIT SIZE AND CONNECT

Christopher A. Horner

Engineer
F.L. REG. # 80745

1634 Afton Lane
Brookhaven, GA 30329
(678) 575–0055

-(5)-Existing-1"-NG-ON-ROOF,-CONTRACTOR-TO-VERIEY-LOCATION.

(10) EXISTING RETURN GRILLE TO REMAIN. DEMOLISH 10" FRETURN DUCT CONNECTION FROM RETURN GRILLE TO 10x12 RETURN DUCT. REPLACE WITH NEW 8"# RETURN

(11) CONNECT NEW 8" # RETURN DUCT TO EXISTING 10x12 RETURN DUCT.

Parallon

PROJECT NAME

Building 16

Unit I-S

8501 Westside Industrial Dr Jacksonville, FL

Westside Industrial Park

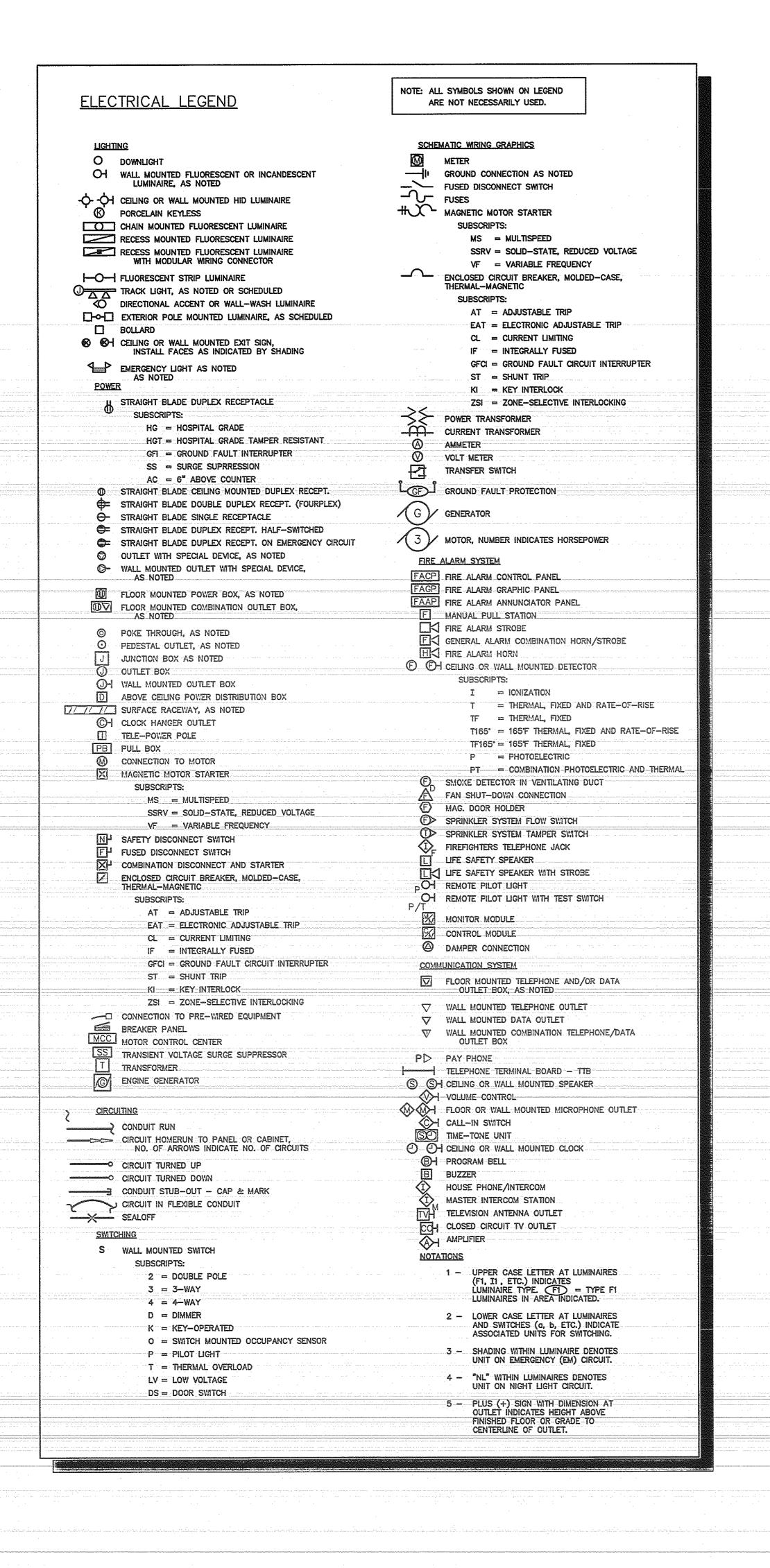
Duval County

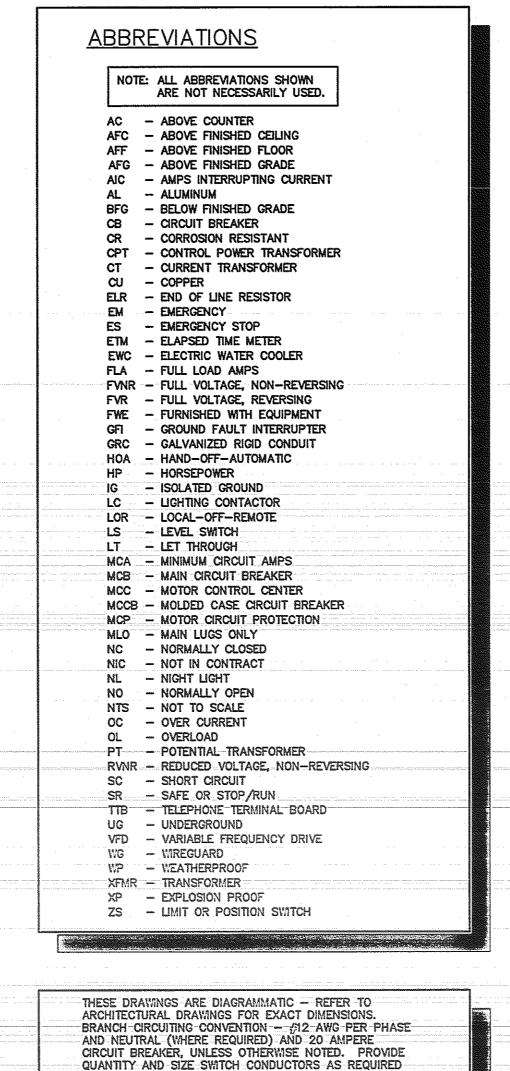
SHEET TITLE

MECHANICAL FLOOR PLAN

.16-814793

JOB NUMBER 105802.1603





TO MAKE SYSTEM OPERATIONAL

GENERAL NOTES (FOR ALL ELECTRICAL SHEETS) 1. COORDINATE LOCATION OF MECHANICAL EQUIPMENT WITH MECHANICAL PLANS AND MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN. 2. COORDINATE LOCATION OF LUMINAIRES WITH ARCHITECTURAL REFLECTED CEILING 3. ALL NEW GENERAL PURPOSE OUTLETS IN WAREHOUSE AREAS SHALL BE MOUNTED AT +42" AFF. COORDINATE MOUNTING HEIGHT OF RECEPTACLES SERVING SPECIAL EQUIPMENT IN SHOP AREAS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-INS. NO RECEPTACLES SHALL BE MOUNTED BELOW +18" AFF IN SHOP AREAS. 4. ALL NEW 120V, 10, GENERAL PURPOSE RECEPTACLES IN WAREHOUSE AREAS SHALL BE GFCI TYPE AS REQUIRED BY NEC ARTICLE 511-10. 5. INFORMATION ON THE DRAWINGS HAS BEEN ASCERTAINED FROM EXISTING DRAWINGS AND CASUAL FIELD OBSERVATIONS. THIS INFORMATION IS AS ACCURATE AS CONDITIONS WOULD ALLOW. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE, PRIOR TO BID, AND FAMILIARIZE HIMSELF WITH THE EXTENT OF REMODEL WORK REQUIRED. NO EXTRAS WILL BE ALLOWED FOR ALTERATIONS OF A FORESEEABLE NATURE REQUIRED TO ACHIEVE THE END RESULT AS INDICATED 6. ALL ITEMS SHOWN LIGHT LINE WEIGHT ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE. ALL ITEMS SHOWN HEAVY LINE WEIGHT ARE NEW, OR RELOCATED AS 7. ELECTRICAL OUTLET OR SWITCH BOXES ARE NOT TO BE PERMITTED ADJACENT TO EACH OTHER IN RATED FIREWALL CONSTRUCTION. THE BOXES MUST BE SPACED A MINIMUM OF 2'-0" LATERALLY APART OR PROVIDED WITH FIRE PUTTY PADS EQUIVALENT TO THE FIREWALL RATING. SEE ARCHITECTURAL PLANS FOR LOCATIONS AND RATINGS OF FIRE 8. ALL NEW WIRING REQUIRED IN REMODELED AREAS SHALL BE FISHED THROUGH EXISTING WALLS OR CONCEALED IN NEW WALLS OR ABOVE CEILINGS. SURFACE MOUNTED CONDUIT SHALL NOT BE USED IN ANY FINISHED AREAS. 9. PROVIDE UPDATED PANEL DIRECTORIES FOR ALL EXISTING PANELS BEING AFFECTED BY REMODEL WORK. PROVIDE NEW CIRCUIT BREAKER NUMBER IDENTIFICATION AS 10. MAINTAIN CIRCUIT CONTINUITY FOR ALL EXISTING ITEMS THAT ARE REMAINING OR 11. ALL ITEMS SHOWN TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY INCLUDING ALL ASSOCIATED CONDUIT AND WIRE BACK TO POINT OF ORIGIN OR NEAREST EXISTING ITEM THAT IS REMAINING, UNLESS OTHERWISE NOTED. 12. WHERE EXISTING DEVICES, SWITCHES, MOTOR CONNECTIONS, ETC. ARE TO BE

REMOVED FROM WALLS WHICH ARE REMAINING, WALLS SHALL BE PATCHED TO

MATCH ORIGINAL FINISH, AFTER CONDUCTORS HAVE BEEN REMOVED. BLANK

WALLS OR CONCRETE CEILINGS, THEY SHALL BE CUT BACK TO WITHIN CONCRETE AND FILLED WITH GROUT TO ACHIEVE A SMOOTH AND EVEN FINISH FLUSH WITH

en mandrid de proposition de la company de la compa

13. IF EXISTING CONDUITS ARE ROUTED IN CONCRETE FLOOR SLABS, CONCRETE

14. FIXTURES SHOWN HALF SHADED SHALL HAVE EMERGENCY BATTERY PACK.

COVERPLATES OVER EXISTING BOXES ARE NOT ACCEPTABLE.

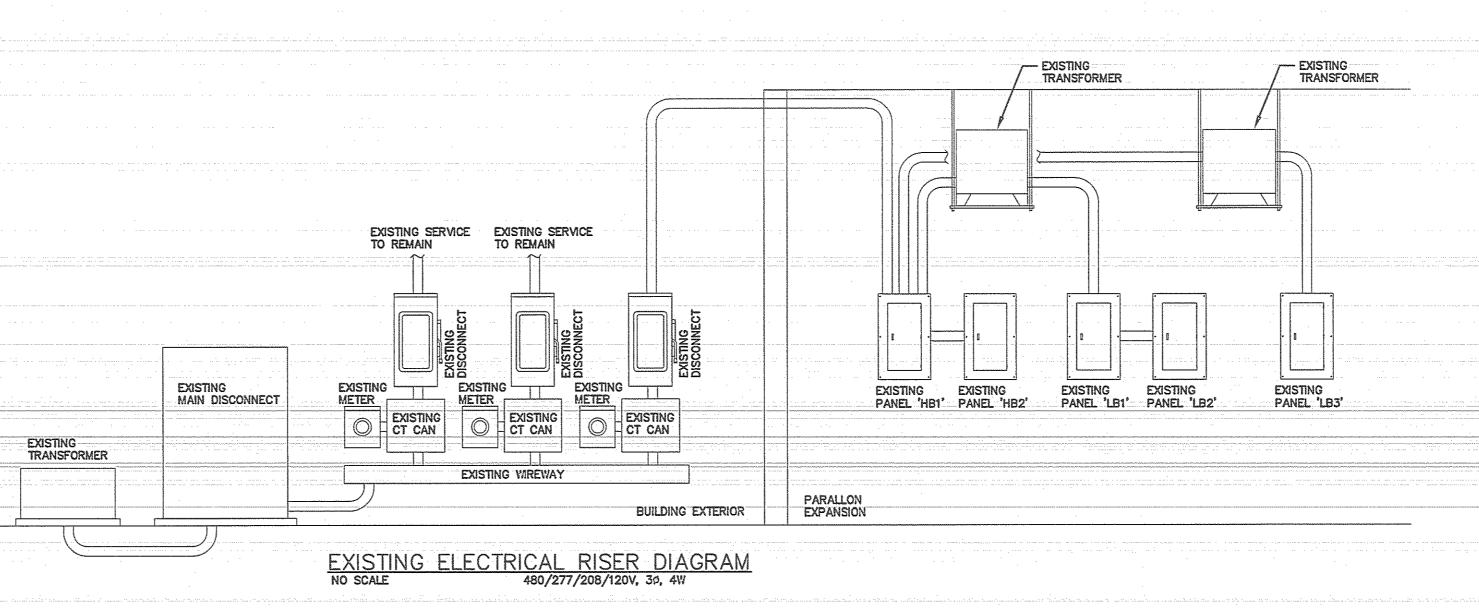
CONCRETE SURFACE AFTER CONDUCTORS HAVE BEEN REMOVED.

SEE SPECIFICATIONS.

Project Information 2014 Florida Building Code, Energy Conservation Project Title: Parallon Warehouse Expansion Project Type: Owner/Agent: Patillo Industrial Real Estate William F. Bell 8501 Westside Industrial Dr 5830 E Ponce de Leon Ave 1702 Sheep Cliff Road Building 16, Unit I-S Stone Mountain, GA 30083 Hiawassee, GA 30546 Jacksonville, FL 32219 404-697-7502 Allowed Interior Lighting Power Area Category Floor Area (ft2) Total Allowed Watts = 17400 **Proposed Interior Lighting Power** B C D E -Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast-Fixture Fixtures Watt. 1-Warehouse Linear Fluorescent 1: A: Fluorescent Highbay: 46" T5 HO 54W: Electronic Interior Lighting PASSES: Design 7% better then code Interior Lighting Compliance Statement with any applicable mandatory requirements listed in the Inspection Checklist.

Data filename: R:\VeenendaalCave\Parallon Warehouse Expansion\Elec\Parallon Warehouse Expansion

Project Title: Parallon Warehouse Expansion



LOAD SUMMARY ORIGINAL KVA = 230.65 KVA REMOVED KVA = 81.29 KVA ADDED KVA = 79.77 KVA NEW TOTAL KVA = 229.13 KVA

COMcheck Software Version 4.0.4.1 Allowed Allowed Watts Watts / ft2 (B X C) Lamps/ # of Fixture (C X D) 50 325 16250 Total Proposed Watts = 16250 Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans. specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2014 Florida Building Code, Energy Conservation requirements in COMcheck Version 4.0.4.1 and to comply

> -BUILDING-PLANS EXAMINER REVIEWED FOR

Building 16

8501 Westside Industrial Dr Jacksonville, FL

Wesiside

SHEET TITLE ELECTRICAL LEGEND, GENERAL NOTES, AND ELECTRICAL RISER

116-814793

105802.1603 SHEET NUMBER

| Yeek | JOB NUMBER

ISSUED FOR CONSTRUCTION

Report date: 10/28/16

Page 1 of 6

CODE COMPLIANCE

KEEP THIS PLAN ON JOB

NOV 2 9 2016

Building Inspection Division - Jax.,FL Examiner Signature

WITH ALL CODES

Engineer
F.L. REG. # 48725

1702 Sheep Cliff Road
Hiawassee, GA 30546
(404) 697-7502

PLAN REVIEW AND ISSUING

OF PERMIT DOES NOT RELEIVE -- CONTACTOR OF COMPLYING ___

5830 East Ponce de Leon Avenue Stone Mountain, Georgia 30083 T 770.938.6366 www.PattilloRE.com

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PROJECT DESIGN TEAM

ve e n e n d a a l **c a v e** a NELSON company

1170 Peachtree St. N.E. Suite 1700 Atlanta, Georgia 30309 404.881.1811 vcave.com Interior Design •

Space Planning DRAWING ISSUE RECORD

ISSUED FOR CONSTRUCTION

10/28/2016

PROFESSIONAL SEAL

PROJECT NAME

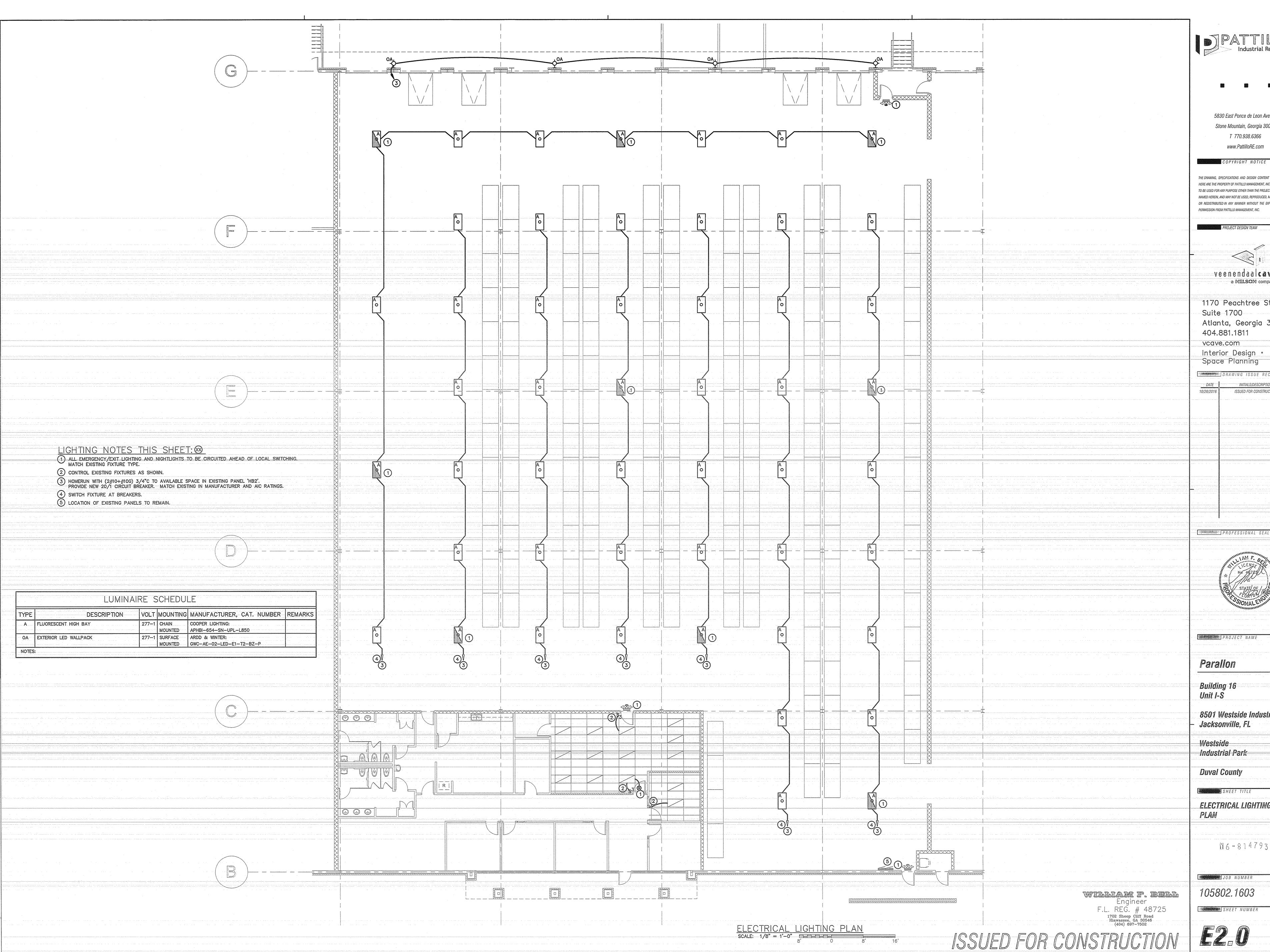
Parallon

Unit I-S

Industrial Park

Duval County

DIAGRAM



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DRAWING ISSUE RECORD

INITIALS/DESCRIPTION
ISSUED FOR CONSTRUCTION

Parallon

Building 16

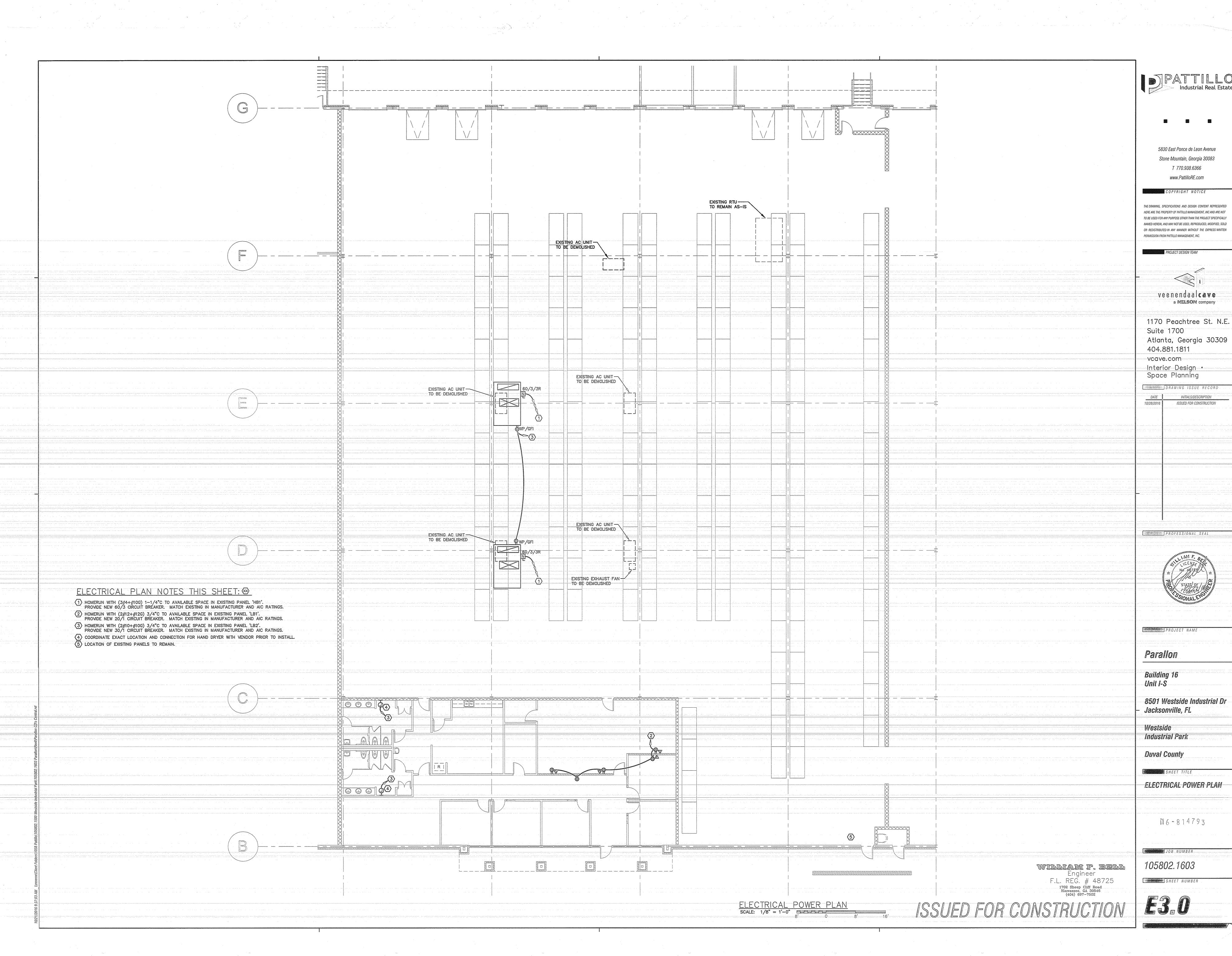
8501 Westside Industrial Dr Jacksonville, FL

Industrial Park

ELECTRICAL LIGHTING

116-814793

JOB NUMBER



ELECTRICAL SPECIFICATIONS SECTION 16000

PART 1 GENERAL

1.1 CODES AND REQUIR

1.1 CODES AND REQUIREMENTS

A. All electrical work shall comply with the requirements of the applicable edition of the National Electrical Code, Local Building Code and as specified herein whichever is more strict.

- B. The contractor shall comply with the requirements of the General Conditions, Supplemental General Conditions of the project specifications, all Contract Documents, and any base building specifications and building criteria included in this project.
- C. Visit the premises before submitting bid as no extras will be allowed for lack of knowledge of existing conditions.
- D. Drawings are diagrammatic in nature. Take all dimensions from Architectural drawings, certified equipment drawings, and from the structure itself before fabricating any work.
- E. The drawings indicate the location, type and sizes of various utilities within the site where known. Any relocation or remodeling required must be approved by the Architect before proceeding. Investigate all utilities such as electric and telephone and make arrangements with the proper authority to pay for any charges associated with connecting those utilities. Pay for all permits, fees, inspections etc.
- F. Good workmanship and appearance are considered equal to proper operation.
- G. Provide all core drilling, channeling, cutting, patching, trenching and backfill as required for installation of electrical equipment. Seal holes, fireproofing where necessary, and refinish all repair work to original condition where damaged by electrical work.
- H. Make provisions for safe delivery and secure storage of all materials.
- I. Provide the Architect with a complete set of plans and specifications corrected to as—built conditions at the completion of the job.

1.2 WARRANTY
The electrical contractor shall provide for the owner a one—year (from the date of final acceptance) warranty of all electrical equipment and systems provided under this contract except for incandescent or fluorescent lamps. All defective equipment or materials which appear during the warranty period shall be replaced or repaired by the electrical contractor in a timely fashion.

PART 2 PRODUCTS

2.1 EQUIPMENT

A. The contractor shall provide all equipment and accessories necessary whether specifically stated or not to make the required electrical systems complete and operational.

- B. All equipment provided shall be new except as otherwise stated on the drawings.

 All equipment provided shall be U.L. listed when such standards exist for the type of equipment furnished and acceptable for installation by the Local Building Authority.
- 2.2 CONDUCTORS

 A. Minimum size #12 AWG except for control circuits which may be #14 or signal circuits which shall be as indicated. All conductors shall be copper except where noted. Increase conductor size as necessary to limit branch circuit voltage drop
- to 3% and feeder voltage drop to 2%.

 B. Splices for #8 and smaller conductors wire or wing nuts.
- C. Feeders and other wiring No. 4 AWG and larger, type THWN.
- D. Other wiring No. 6 and smaller, type THWN.
- E. Wiring in high temperature areas shall be rated 105° C and be a type accepted by local code.
- F. Color Coding: Wiring for control systems to be installed in conjunction with mechanical and miscellaneous equipment shall be color coded in accordance with the wiring diagrams furnished with the equipment. Branch circuit wiring, including circuits to motors, and all feeders shall be coded by line or phase as follows:
- Wire No. 2 AWG and smaller shall be factory color coded. Wire No. 1 AWG and larger may be color coded by field painting or color taping of six inch (6") length of exposed ends.

120/208 Volts

A = Black

B = Red

C = Blue

Neutral = White

Ground = Green

Switch Travelers = Pink

277/480 Volts

A = Brown
B = Orange
C = Yellow
Neutral = Gray
Ground = Green w/yellow stripes
Switch Travelers = Purple

A. 4" square or octagonal, zinc coated sheet steel boxes.

- B. Provide 3/8" no-bolt fixture studs.
- C. Provide covers set to come flush with finish walls.

D. Utility or sectional switch boxes only where permitted

2.4 DEVICES
A. All devices colors shall be selected by architect.
1. Specification grade receptacles, Hubbell 5262-*.

- 2. A.C. quiet operating type switches equal to Hubbell, rated 20A, 277V.
- B. Device plates shall be nylon, color to match devices.
- C. Mount devices in accordance with the following schedule except where otherwise noted on the drawings:

 1. Convenience Receptacles Long Axis Vertical 1'6" A.F.F.*

 2. Light Switches Latch Side of Door 4'0" A.F.F.

 3. Telephone Outlets 1'6" A.F.F.*

 * Except in areas with counters, baseboard heaters or in areas of block or brick construction.
- 2.5 LIGHTING FIXTURES

 A. Provide all new lighting fixtures complete with lamps, ballasts, reflectors, plaster frames, louvers, stem hangers, etc., and as described on the drawings.
- B. All ballasts shall be internally protected by use of two internal,
 temperature—sensitive, non—resetting protectors, equal to G.E. Watt—Miser,
 Class "P".
- C. Exit_lights_shall_conform_with_local_code_requirements.
- D. Mount all outlets at position and height to clear ducts, etc.
- E. Acrylic lenses shall be 100% virgin materials and 0.125 inch thick minimum unpenetrated thickness shall be 0.035 inch.
- 2.6 BRANCH CIRCUIT PANELBOARDS

 A. Provide dead—front, circuit breaker type panels, with the size and number of branches indicated. Breakers shall be thermal magnetic type employing quick—make and quick—break mechanisms for manual operation as well as automatic operation. Automatic tripping shall be indicated by the breaker handle assuming a distinctive position from the manual "on" and "off". Multiple breakers shall have a common trip. Tie handles will not be permitted.
- B. Panelboards having branch circuit breaker sizes 15 to 100 amperes shall be equal to:

 1. General Electric "AQ" for operation on 120/208V. systems.

 2. General Electric "AE" for operation on 277/480V. systems.
- C. Panelboards may contain two (2) subfeed breakers having a rating in excess of 100 amperes, but less than 225 amperes.
- D. Panelboards having more than two (2) branch circuit breakers rated in excess of 100 amperes shall be equal to General Electric "CCB".
- E. All spaces shall be fully equipped.
- F. Panelboards shall have a grounding lug for the equipment grounding system.
- G. Circuit breakers shall have a minimum interrupting capacity as follows:

 120/208 volts: 22,000 amperes.
 In addition, upstream fuses shall be selected to provide a series rating of 100,000 amperes with downstream circuit breakers.
- H. Panelboards shall be a minimum twenty inches (20") wide (box).
- I. All buses shall be copper.
- J. The above panelboard designations are General Electric; however provide any of the following equipment, or as accepted:

 120/208V 277/480V Sub—distribution type
 Eaton/Cutler Hammer,
 General Electric, Siemens or
 Square—D
- 2.7 SAFETY AND DISCONNECT SWITCHES
 Provide enclosed, fusible or non-fusible safety switches where indicated and herein specified. Safety switches shall bear the UL label and each enclosure shall be the NEMA type suitable for the surrounding area and conditions (Ex. Nema 1 Indoor, Nema 3R Outdoor). Switches shall be minimum heavy duty, horsepower rated, and shall have quick—make and quick—break mechanisms. Switches used on motor circuits shall have adequate horsepower ratings for the motors served.
- Safety switches employed as motor disconnect devices for two (2)
 or more loads shall be of the fusible type for rejection type fuses.
- Heavy duty industrial type safety switches shall be used for 480 volt
 application and shall be horsepower rated with quick—make, quick—break
 mechanisms and interlocked covers.
- Switches shall be as manufactured by Eaton/Cutler-Hammer, General Electric, Siemens or Square-D or as accepted, and all switches provided shall be by the same manufacturer.

.8 FUSES

A. Fuses shall be as manufactured by Bussmann unless noted otherwise on the drawings.

- B. Fuses for application at under 600 volts, and rated at 600 amps or less, shall be as follows:

 1. For all fuses in the main service, equipment, except for motor circuits, provide current limiting, 200,000 rms amperes symmetrical interrupting
- capacity, rejection type, Bussmann Limitron or as accepted.

 2. For all other fuses, provide rejection type with 200,000 rms amperes
- symmetrical interrupting capacity, Bussmann "Fusetron", or as accepted.

 C. Control Fuses shall be Bussmann one—time nonrenewable fuses.
- 2.9 DRY TYPE TRANSFORMERS (IF APPLICABLE)
 A. ACCEPTABLE MANUFACTURERS
 - Square D
 GE Type QL

1 - 15

3. Cutler-Hammer - CX6

Class

185

- 4. Alternate manufacturers may be acceptable when submitted
- according to Division 0 or Division 1.
- B. Dry Type Transformers: ANSI/NEMA ST 20; factory—assembled, air cooled dry type transformers; ratings as shown on the Drawings.
- C. Insulation system and average winding temperature rise for rated KVA as follows:

Rise (degree C)

- 16 500 220 115

 D. Case temperature shall not exceed 35 degrees C rise above ambient
- at its warmest point.

 E. Winding Taps, Transformers Less than 15 KVA: Two 5% below
- rated voltage, full capacity taps on primary winding.

 F. Winding Taps, Transformers 15 KVA and Larger: ANSI/NEMA ST 20.
- G. Sound Level: ANSI/NEMA ST 20.

 H. Basic Impulse Level: 10 KV for transformers less than 300 KVA,
- 30 KV for transformers 300 KVA and larger.

 I. Ground core and coil assembly to enclosure by means of a visible
- flexible copper grounding strap.

 J. Mounting: Transformers 75 KVA and less shall be suitable for wall,
- floor or trapeze mounting; transformers larger than 75 KVA shall be suitable for floor or trapeze mounting.

 K. Coil Conductors: Continuous winding with termination's brazed or welded
- K. Coil Conductors: Continuous winding with termination's brazed or welded.
 L. Enclosure: ANSI/NEMA ST 20; Type 1 for indoor application, Type 3R for outdoor or wet location application. Provide lifting eyes or brackets.
- M. Isolate core and coil from enclosure using vibration—absorbing mounts.
- N. Nameplates: Include transformer connection data and overload capacity based on rated allowable temperature rise.
- PART 3 EXECUTION
- 3.1 CONDUIT/RACEWAYS

 A. All conductors shall be enclosed by conduit sized in accordance with

 Chapter 9 of the National Electrical Code. Minimum 1/2" except for
 - factory furnished lighting fixture flexible conduit may be 3/8". Follow the following schedule unless otherwise specified in the drawings. Exception: cable assemblies such as MC type cable may be used where allowed by NEC.

 1. Rigid metal conduit (RMC) and intermediate metal conduit (IMC) shall be utilized for above and below grade applications in accordance with articles 344 AND 342 of the National Electrical Code. All couplings shall be threaded.
 - 2. Rigid nonmetallic conduit (PVC) Schedule 40 shall be permitted for below grade or concrete cast in place applications above grade.

 All elbow transitions to above grade or stub—out of floor slab shall be asphalt coated rigid conduit. Provide equipment grounding conductor for all runs of rigid nonmetallic conduit.
 - Electrical metallic tubing (EMT) shall be utilized for all dry, above grade
 or above floor applications in accordance with article 358 of the National
 Electrical Code. Couplings shall be steel, set screw type or compression
 type, with screws set to maximum depth or nut made up wrench—tight
 respectively.
 - 4. Flexible metal conduit shall be utilized for all connections to vibrating equipment such as motors (minimum of 2'-0" maximum of 6'-0"), connection to lay—in type light fixtures or in remodel areas specifically noted for "fishing" in existing walls or non—accessible ceilings.
 - Surface metallic raceways shall be used only in areas specifically noted and of size and type specified on the drawings.
 - B. All exposed conduit (including conduit installed in ceiling plenums) shall be routed parallel or perpendicular with the building walls.

 Support conduit as required by the National Electrical Code.

C. Provide expansion type fittings for all conduits which cross expansion joints.

3.2 GROUNDING

1. Service equipment, conduit systems, supports, cabinets, equipment, transformers, fixtures, the grounded circuit conductor, etc., shall be properly grounded in accordance with the latest issue of the National Electrical Code. Provide all bonding jumpers and wire, grounding bushings, clamps, etc., as required for complete grounding. Route ground conductors to provide the shortest and most direct path to the ground electrode system. Ground connections shall have clean contact surfaces, tinned and sweated while bolting. Install all ground conductors in conduit. Make readily accessible connections to a continuous, metallic, underground cold water piping system at the point where it enters the building. If this is not practicable, connect to a cold water pipe and provide a meter jumper. Make connections to the water pipe that grounds the conduit enclosing the conductor as well as the conductor. Bond the service equipment to a separate grounding electrode per Code requirements.

3.3 PANELBOARDS
1. Install panelboards with the top of the trim six-feet, three-inches

(6'-3") from the finished floor.

2. Field check all panelboard loading and reconnect circuits as

3.4 MECHANICAL EQUIPMENT WIRING AND CONNECTIONS

1. Mechanical equipment motors and controls furnished with

required to provide balanced phase and line loads.

mechanical equipment.

2. Provide feeder circuits to mechanical equipment and make all connections.

3. Provide safety switches and/or thermal overload switches as

4. Provide all power (line voltage) wiring for mechanical equipment and make all connections except for temperature control equipment, which will be wired by mechanical contractor.

5. Furnish, set in place, and wire, except as indicated, all heating, ventilating, air conditioning, plumbing, fire protection, motors and controls in accordance with the following schedule. Carefully coordinate with work performed under the Mechanical Division of these specifications.

6. Heater units in all motor starters shall be sized for approximately one hundred fifteen percent (115%) of full load motor current.

Check and coordinate all thermal protective devices with the equipment they protect.

- a) Provide for each motor, one—half (1/2) horsepower and below,
 a horsepower rated disconnect switch and thermal overload
 protection unless integrally provided with the motor. Thermal
 overload switches for single phase motors shall be Allen—Bradley
 Bulletin 600 or acceptable. Size heater units for approximately
 one hundred fifteen percent (115%) of full load motor current.
- b) Miscellaneous Equipment: Where outlets are indicated for miscellaneous equipment requiring electric power or control, provide wire, conduit, etc., and make all connections, unless otherwise indicated. Refer to the Mechanical Specifications and Plans covering sprinkler systems, motor interlocks, switching, etc. Provide wiring, conduit, outlets and provide final electrical connections to all equipment.
- 3.6 DRY TYPE TRANSFORMER INSTALLATION

 1. Set transformer plumb and level, on 4 in. high concrete housekeeping pad for floor mounted units, on strut assemblies for wall or ceiling mounted units.
- Use flexible conduit 2 ft minimum length, for connections to transformer case. Make conduit connections to side panel of enclosure.
- 3. Mount transformers on vibration isolation pads suitable for isolating the transformer noise from the building structure.
- isolating the transformer noise from the building structure.
- 4. Provide seismic restraints.5. Install nameplate.
- 3.7 TELEPHONE SYSTEM

 A. Provide conduits and outlets as indicated. Provide #14 AWG pull wire for all empty conduit.
- B. Outlets shall consist of 4" square box with bushed opening in plate. Plates shall match finish of other plates.
- plate. Plates shall match finish of other 3.8 SPECIAL SYSTEMS
- 1. Provide all special systems as specified on the drawings including all required accessories to make the system complete and operational. All special systems shall be installed and connected in accordance with the manufacturer's specifications. Provide instructional demonstration for the owner prior to final acceptance.

END OF SECTION

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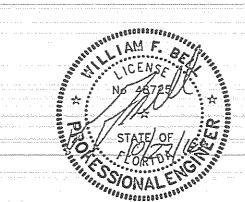
Space Planning

DRAWING ISSUE RECORD

DATE INITIALS/DESCRIPTION

ISSUED FOR CONSTRUCTION

PROFESSIONAL SEAI



PROJECT NAM

Parallon

Building 16

Unit I-S

8501 Westside Industrial Dr Jacksonville, FL

Westside Industrial Par

Duval County

ELECTRICAL
SPECIFICATIONS

176-814793

105802.1603
SHEET NUMBER

WILLIAM F. BELL
Engineer
F.L. REG. # 48725

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